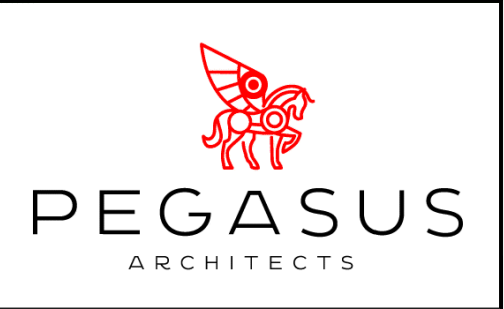


ATTACHMENT B

PROJECT PLANS & MATERIALS

REVISED SITE PLAN 10/8/25



1717 PIERMONT DRIVE
HACIENDA HEIGHTS, CA 91745
TEL: 626.353.3796
E: CHAK@PEGASUSARC.COM

PROJECT: 6-UNITS RESIDENTIAL
DEVELOPMENT
ADDRESS: 54 MONO ST.,
MAMMOTH LAKES, CA
CLIENT: MR. MORARI BIPIN

PROPOSED SITE PLAN

KEY MAP SEAL/STAMP

JOB NO.	-
DRAWN BY:	TL/ZL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	___/___/___
PERMIT SET	___/___/___
BID SET	___/___/___

REVISIONS	
△	FIRST CUP COMMENTS 02/19/2025
△	SECOND CUP COMMENTS 06/12/2025
△	DESIGN COMMITTEE COMMENTS 07/18/2025
△	PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING 08/13/2025
△	
△	
△	

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SHEET NO:

A1.02

OF SHEETS
S H E E T

Reference Notes

- 1 PROPERTY LINE
- 2 (N) LANDSCAPE
- 3 (N) DRIVE WAY
- 4 (N) ASPHALT PAVING
- 5 FIRE TURNAROUND
- 6 NOT IN USED
- 7 (N) 6'-0" HT. CMU SPLITFACE W/ 2" CONCRETE CAP FENCE WALL
- 8 NOT IN USED
- 9 (N) 5'-0" WIDE CONCRETE WALKWAY
- 10 (N) TRASH ENCLOSURE PER CITY STANDARD
- 11 (N) TRANSFORMER
- 12 (N) SNOW STORAGE AREA (1,163 SF)
- 13 (N) DRYWELL PER CIVIL PLAN
- 14 (N) STORAGE (621 CU. SQ. FT.)
- 15 (N) COVERED PARKING
- 16 (N) COVERED ADA EV PARKING
- 17 (N) COVERED ADA PARKING
- 18 (N) GUEST PARKING



NORTH

SCALE: 1"=10'-0"

Proposed Site Plan

1

6-UNITS RESIDENTIAL DEVELOPMENT

54 MONO ST., MAMMOTH LAKES, CA

Abbreviations											
&	AND	D.O.	DOOR OPENING	I.D.	INSIDE DIAMETER	SQ.	SQUARE				
L	ANGLE	DR.	DOOR	INSUL.	INSULATION	S.ST.	STAINLESS STEEL				
@	AT	DWR.	DRAWER	INT.	INTERIOR	STD.	STANDARD				
℄	CENTERLINE	D.S.	DOWNSPOUT			STL.	STEEL				
∅	DIAMETER OF ROUND	DWG.	DRAWING	JT.	JOINT	STOR.	STORAGE				
#	POUND OR NUMBER			STRL.	STRUCTURAL	SYM.	SYMMETRICAL				
(E)	EXISTING	E.	EXISTING	KIT.	KITCHEN						
(R)	RELOCATED	E.A.	EACH								
(N)	NEW	E.J.	EXPANSION JOINT	LAMINATE	LAM.	T.B.S.	TO BE SPECIFIED				
		EL.	ELEVATION	LAV.	LAVATORY	TRD.	TREAD				
		ELEC.	ELECTRICAL	LT.	LIGHT	T.B.	TOWEL BAR				
		E.P.	ELECTRICAL			T.C.	TOP OF CURB				
A.F.F.	ABOVE FINISH FLOOR	MANU.	MANUFACTURER			TEL.	TELEPHONE				
A.D.	AREA DRAIN	MAX.	MAXIMUM			TER.	TERRAZZO				
ADJ.	ADJUSTABLE	M.C.	MEDICINE CABINET			T.& G.	TONGUE & GROOVE				
AGGR.	AGGREGATE	MECH.	MECHANICAL			THK.	THICK				
AL.	ALUMINUM	MEMB.	MEMBRANE			T.P.	TOP OF PAVEMENT				
APPROX.	APPROXIMATE	MET.	METAL								
ARCH.	ARCHITECTURAL	MFR.	MANUFACTURER			MIR.	MIRROR				
ASB.	ASBESTOS	MIN.	MINIMUM			MISC.	MISCELLANEOUS				
ASPH.	ASPHALT	PL.	PLATE			M.O.	MASONRY OPENING				
		PLAS.	PLASTER			MTD.	MOUNTED				
		PLYWD.	PLYWOOD			MUL.	MULLION				
BD.	BOARD	PR.	PAIR								
BITUM.	BITUMINOUS	PROV'D	PROVIDED			N.	NEW				
BLDG.	BUILDING	N.I.C.	NOT IN CONTRACT			NO./#	NUMBER				
BLKG.	BLOCKING	PT.	POINT			NOM.	NOMINAL				
BM.	BEAM	PTN.	PARTITION			N.T.S.	NOT TO SCALE				
B.O.H.	BACK OF HOUSE	Q.T.	QUARRY TILE								
BOT.	BOTTOM	QSR	QUICK SERVE			O.A.	OVERALL				
		F.S.	FLOOR SINK			OBS.	OBSOURE				
CAB.	CABINET	FT.	FOOT OR FEET			O.C.	ON CENTER				
CEM.	CEMENT	FTG.	FOOTING			O.D.	OUTSIDE DIAMETER				
CER.	CERAMIC	FURR.	FURRING			OFF.	OFFICE				
C.I.	CAST IRON	R/RAD.	RADIUS			OPNG.	OPENING				
CLG.	CEILING	R.D.	ROOF DRAIN			OPP.	OPPOSITE				
CLKG.	CAULKING	REF.	REFERENCE			PLBG.	PLUMBING				
CLO.	CLOSET	REFR.	REFRIGERATOR			T.P.D.	TOILET PAPER				
CLR.	CLEAR	RGTR.	REGISTER								
C.O.	CASED OPENING	REINF.	REINFORCED								
COL.	COLUMN	REQ'D	REQUIRED								
CONC.	CONCRETE	RESIL.	RESILIENT								
CONN.	CONNECTION	RM.	ROOM			T.V.	TELEVISION				
CONSTR.	CONSTRUCTION	R.O.	ROUGH OPENING			T.W.	TOP OF WALL				
CONT.	CONTINUOUS	RWD.	REDWOOD			TYP.	TYPICAL				
CTSK.	COUNTERSUNK	R.W.L.	RAIN WATER LEADER			UNF.	UNFINISHED				
CNTR.	COUNTER					U.O.N.	UNLESS				
CTR.	CENTER						OTHERWISE NOTED				
		H.B.	HOSE BIBB			VERT	VERTICAL				
		H.C.	HOLLOW CORE								
		HCP	HANDICAP			S.C	SOLID CORE				
		SCHED.	SCHEDULE			S.D.	SOAP DISPENSER				
DBL.	DOUBLE	SECT.	SECTION			W.	WEST				
DEPT.	DEPARTMENT	SH.	SHELF			W/	WITH				
DET.	DETAIL	SHR.	SHOWER			W.C.	WATER CLOSET				
DIA.	DIAMETER	SHT.	SHEET			WD.	WOOD				
DIM.	DIMENSION	SIM.	SIMILAR			W/O	WITHOUT				
DISP.	DISPENSER	SL.	SLOPE			WP.	WATERPROOF				
DN.	DOWN	SPEC.	SPECIFICATION			WSCT.	WAINSCOT				
		WT.	WEIGHT								

Symbols

6
A8

DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN

3
A3

SECTION (BUILDING)

4
A3

SECTION (WALL / DETAIL)

5
A3

ELEVATION

9

REFERENCE NOTE

1

INTERIOR ELEVATIONS

2

ELEVATION IDENTIFICATION

3

SHEET WHERE ELEVATION IS DRAWN

#

WINDOW SYMBOL

D#

DOOR SYMBOL

2

REVISION, CLOUD

MATCH LINE, SHADED PORTION IS THE SIDE CONSIDERED

DATUM POINT

Project Directory

OWNER:
MR. BIPIN MORARI
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E: BIPIN@JAYBHARAT.COM

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MAHIR WABER
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TEL.: 424.344.2464 EXT. 29
E: mwaber@waberconsultants.com

LANDSCAPE ARCHITECT:
PHIL MAY LANDSCAPE ARCHITECTURE
ROSALIO SERNA
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UPLAND, CA 91786
TEL.: (909) 373-1959
E: PMAY@PHILMAYDESIGN.COM

ARCHITECT:
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C.F. LAU, AIA
4300 EDISON AVE.,
CHINO, CA 91710
TEL.: 909.465.4101
E: CHAK@PEGASUSARC.COM

Project Narrative:

THIS PROPOSED 6-UNITS MULTI-FAMILY (3-STORY HEIGHT) RESIDENTIAL DEVELOPMENT IS LOCATED AT 54 MONO STREET, THE TOWN OF MAMMOTH LAKES. THE SURROUNDINGS ARE ALSO RESIDENTIAL DEVELOPMENTS. THE SITE HAS A GENTLE SLOPE AND SOME VEGETATIONS.

THE PROJECT IS CALLED FOR 100% DENSITY INCREASE UNDER THE TOWN DENSITY BONUS ORDINANCE SECTION 17.138.050 AS EMPLOYEE HOUSING. THE REQUESTED INCENTIVES ARE A REDUCTION OF 20% SETBACKS AT REAR AND SIDE YARDS, PLUS ONE GUEST PARKING REDUCTION AS WELL.

THE EXTERIOR MATERIALS ARE SPLIT-FACED CMU WALL, STUCCO, SLOPED SHINGLED ROOF AND CEMENT BOARD FINISHES. WINDOWS ARE DUAL GLAZED; ALL PLUMBING FIXTURES ARE PER CODE WITH WATER SAVING SUFFICIENT TYPES. THE COOLING AND HEATING AREA PROVIDED PER INDIVIDUAL UNIT NOT AS CENTRAL TYPE. THIS WILL MINIMIZE COOLING OR HEAT LOSS. THE LANDSCAPE IS OF THE CITY'S STANDARD. AN AREA OF SNOW STORAGE AT THE FRONT YARD IS ALSO PROVIDED, AND ANY ADDITIONAL HAIL-AWAY WILL BE EMPLOYED AS NEEDED.

THIS DEVELOPMENT HAS A PODIUM FOR THE RESIDENT'S PARKING, AND THE GUEST PARKING AND ADA PARKING ARE PARTIALLY COVERED. AN ADA UNIT IS ACCESSIBLE ON THE GROUND FLOOR. THE SITE IS FULLY ACCESSIBLE FROM THE STREET TO ALL ENTRIES.

THIS MULTI-FAMILY RESIDENTIAL DEVELOPMENT WILL BE A GOOD ADDITION TO THE HOUSING NEEDED IN THE CITY AND WILL ALSO HELP THE NEEDS OF THE OWNER'S EMPLOYEES.

Area Calculation

UNIT COUNT PER FLOOR/TYPE							
UNIT TYPE	1/F S.F.	2/F S.F.	3/F S.F.	QTY.	AREA PER UNIT S.F.	TOTAL S.F.	STORAGE (CU.SQ.FT.)
GARAGE							621
A-1 (1-BED)	342	732	—	1	1,074	1,074	
A-2 (1-BED)	—	—	713	1	713	713	
B (1-BED)	—	746	746	2	1,492	1,492	
C (3-BED)	—	1,473	1,473	2	2,946	2,946	
GRAND TOTAL	342	2,951	2,932	6		6,225	621

Sheet Index:

ARCHITECTURAL
SHT T PROJECT DIRECTORY & DATA
MAP, NOTES & SCOPE OF WORK
A0.01 GENERAL NOTES
A0.02 GENERAL NOTES & ENERGY NOTES
A0.03 GENERAL NOTES & ENERGY NOTES
A0.10 CAL GREEN NOTES
A0.11 CAL GREEN NOTES
A0.20 ADA DETAILS
A1.01 EXISTING SITE PLAN
A1.02 PROPOSED SITE PLAN
A1.03 PROPOSED SITE PLAN W/ ACCESSIBLE ROUTE
A1.10 TRASH ENCLOSURE FLOOR PLAN & ELEVATIONS
A2.01 PROPOSED FIRST FLOOR & ROOF PLAN
A2.02 PROPOSED SECOND & THIRD FLOOR PLAN
A3.01 PROPOSED EAST & WEST BUILDING ELEVATIONS
A3.02 PROPOSED NORTH & SOUTH BUILDING ELEVATIONS

CIVIL
C-1 PRELIMINARY GRADING PLAN
C-2 PRELIMINARY DRAINAGE PLAN

LANDSCAPE
L-1 TITLE SHEET
L-2 PRELIMINARY LANDSCAPE PLAN

PHOTOMETRIC
E3.1 SITE PHOTOMETRY CALCULATION

Vicinity Map

Project Description

DEVELOP A 6 UNIT HAVE A TWO 3-BEDROOMS AND FOUR 1-BEDROOM, GARAGE ON .25 ACRE SITE BY APPLYING THE TOWN DENSITY BONUS PROGRAM.

Legal Description

PARCEL 1 OF PARCEL MAP 36-158 IN THE TOWN OF MAMMOTH LAKES, COUNTY OF MONO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4 PAGE 73 OF PARCEL MAP, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Project Data

PROJECT ADDRESS: 54 MONO ST.
MAMMOTH, CA 93546

APN#: 033-123-012-000

ZONING TYPE: RESIDENTIAL MULTI-FAMILY 1
GENERAL PLAN LAND USE: HIGH DENSITY RESIDENTIAL 1

CONSTRUCTION TYPE: VB

BUILDING CODE: 2022- CBC, CRC, CMC, CEC, CPC, CGC

SITE AREA: 10,890 S.F. GROSS (0.25 ACRE)
9,549 S.F. NET

1) FIRST FLOOR BUILDING: 2,996 S.F.; 28%
2) COVERED PARKING: 644 S.F.; 5%
3) OPENING DRIVEWAY: 2,289 S.F.; 21%
4) TRASH ENCLOSURE: 63 S.F.; 1%
5) WALKWAY: 758 S.F.; 7%
LOT COVERAGE: 1+2+4/9,549= 0.387 (39%)

REQUIRED PROVIDED
SNOW STORAGE AREA: 2,295 SF 1,340 SF (OWNER TO PROVIDE PICK-UP COMPANY)
1,340/9,543=0.14 (14%)

LANDSCAPE AREA: 1,022/9,543 S.F.= 0.11 (11%)

HEIGHT LIMIT: REQUIRED PROVIDED
35'-0" (MAX) ±33'-5"

SETBACK REQUIREMENTS: REQUIRED PROVIDED
FRONT YARD 20'-0" 20'-0"
SIDE YARD (NORTH) 10'-0" 10'-0"
SIDE YARD (SOUTH) 10'-0" 8'-0"(20% REDUCED)
REAR 10'-0" 8'-0"(20% REDUCED)

PROPOSED BUILDING AREA: FIRST FLOOR: 2,885 S.F.
SECOND FLOOR: 3,129 S.F.
THIRD FLOOR: 3,152 S.F.
TOTAL: 9,166 S.F.

OF UNITS PER BASED DENSITY PER TOWN DENSITY BONUS (WORKFORCE)
12 UNITS/ACRES 2X BASED DENSITY
(ALLOW 3 UNITS) (PROPOSED 6 UNITS)

PARKING SPACE REQUIRED: REQUIRED PROVIDED
1-BEDROOM 1/UNIT 4 (4 UNITS)
3-BEDROOM 2/UNIT 4 (2 UNITS)
GUEST PARKING 2/4 UNITS 2 (1 REDUCTION PER TOWN DENSITY BONUS)
TOTAL 10 SPACES (1 ADA INCL.)

EV PARKING REQUIRED PROVIDED
1 1 (1 ADA)

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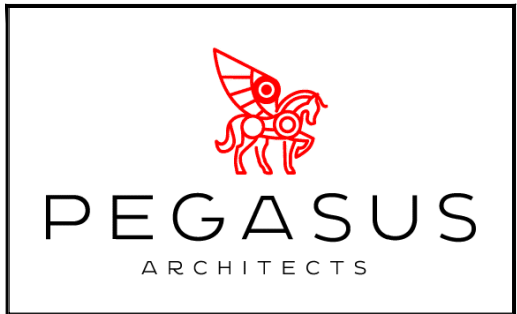
PROJECT: 6-UNITS RESIDENTIAL DEVELOPMENT
ADDRESS: 54 MONO ST., MAMMOTH LAKES, CA
CLIENT: MR. MORARI BIPIN

SHEET TITLE: PROJECT DIRECTORY & DATA
LEGAL DESCRIPTION, SHEET INDEX, VICINITY MAP, NOTES & SCOPE OF WORK

JOB NO. -
DRAWN BY: TL/ZL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK: / / / / /
PERMIT SET: / / / / /
BID SET: / / / / /

REVISIONS
FIRST CLP COMMENTS 02/19/2025
SECOND CLP COMMENTS 06/12/2025
DESIGN COMMITTEE COMMENTS 07/18/2025
PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING: 08/13/2025

SHEET NO: T OF SHEETS
S H E E T



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PROJECT: 6-UNITS RESIDENTIAL DEVELOPMENT
ADDRESS: 54 MONO ST., MAMMOTH LAKES, CA
CLIENT: MR. MORARI BIPIN

SHEET TITLE:
EXISTING SITE PLAN

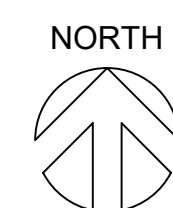
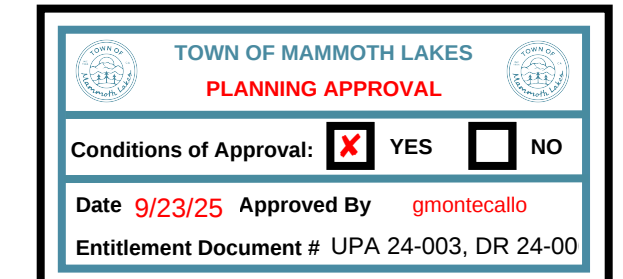
KEY MAP SEAL/STAMP

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DRAWN BY:	TL/ZL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	___/___/___
PERMIT SET	___/___/___
BID SET	___/___/___
REVISIONS	
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△ PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING	08/13/2025
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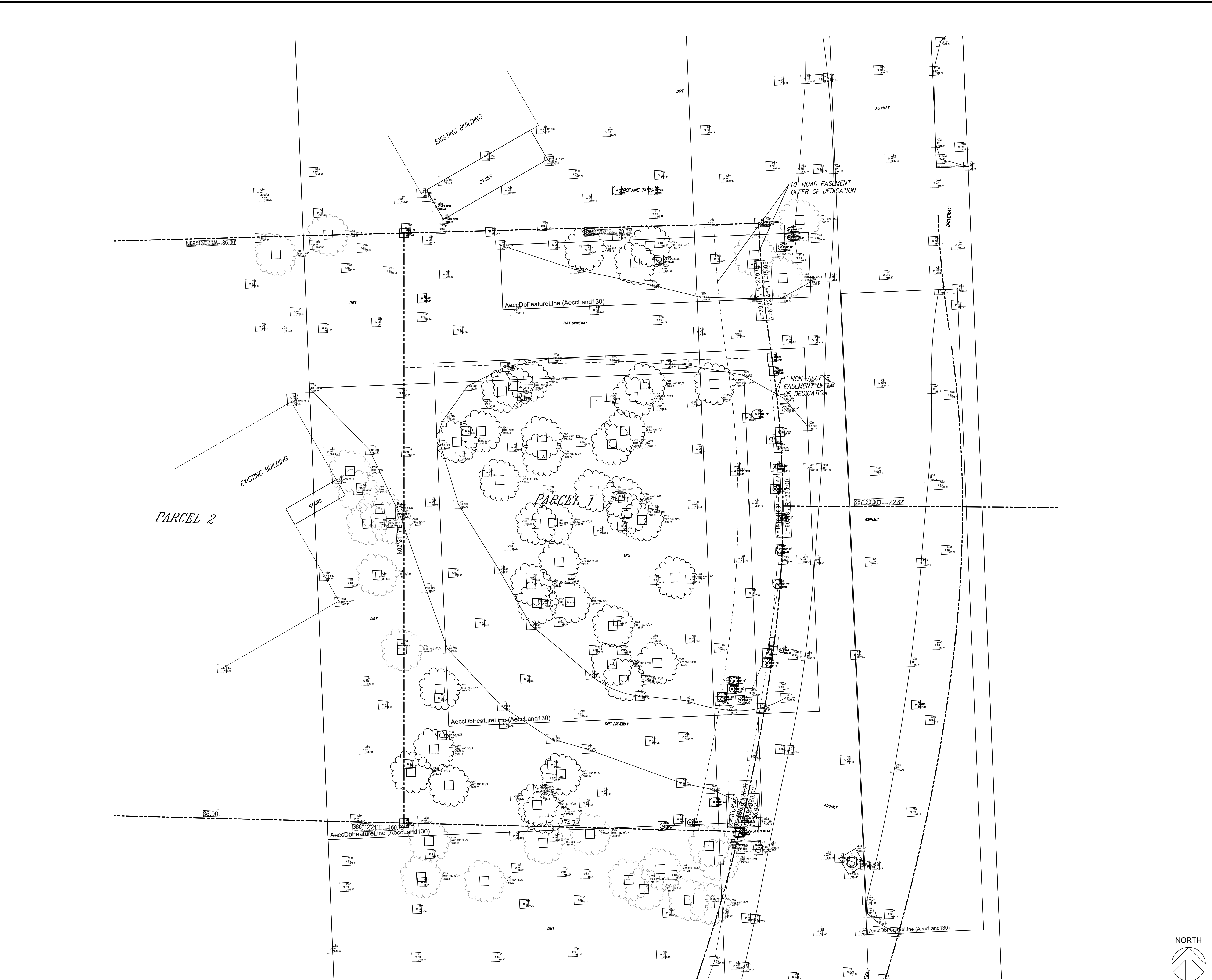
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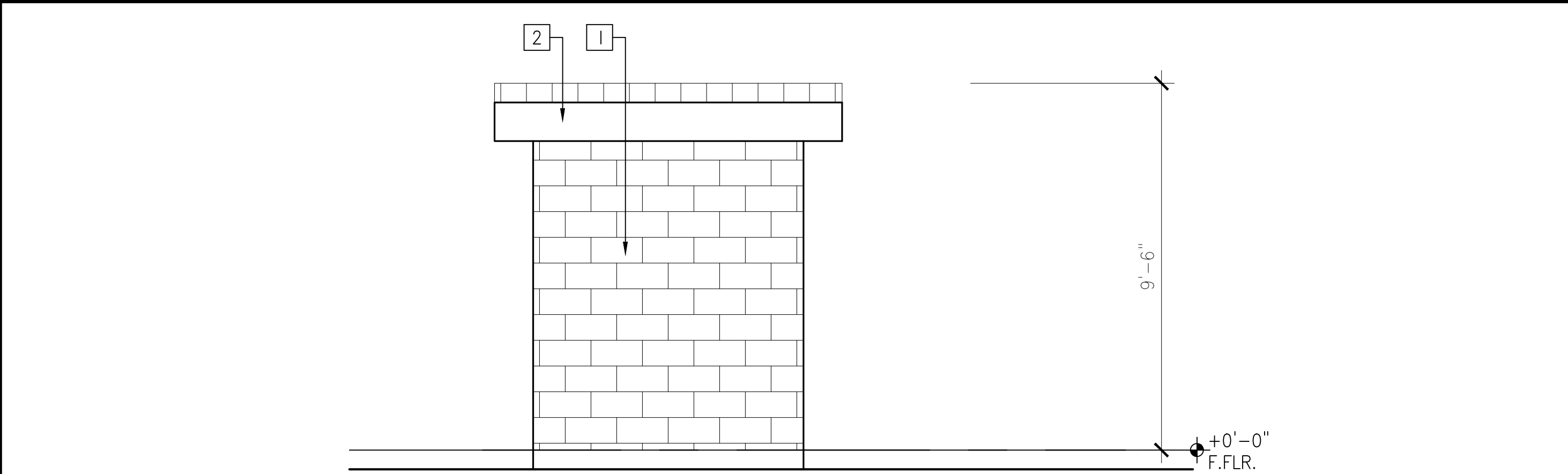
Reference Notes

- 1 TREE TO DEMO WITHIN THE PROPERTY LINE
- 2 -

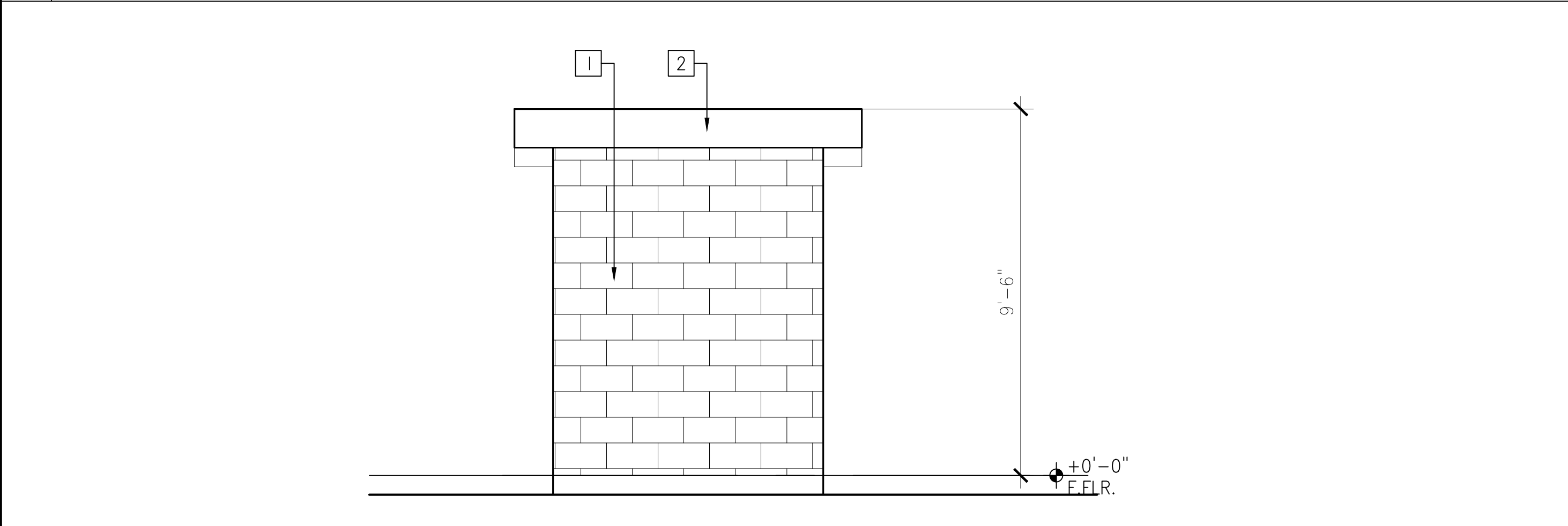


SCALE: 1"=10'-0"

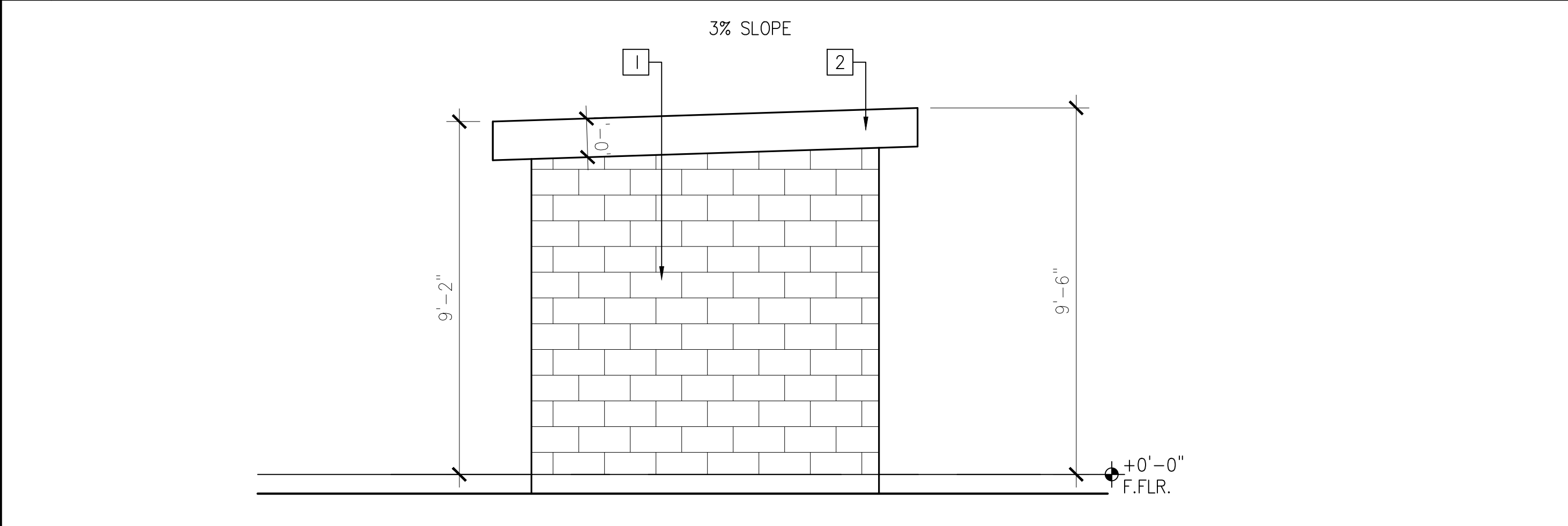




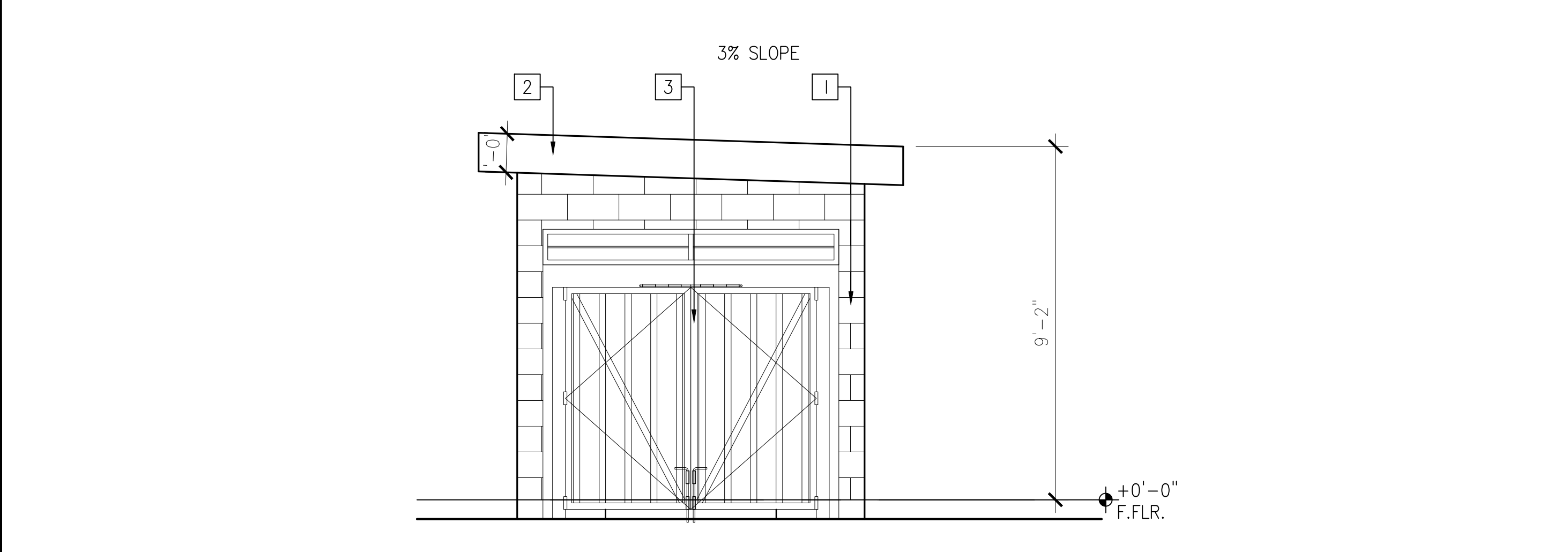
6 West Elevation SCALE: 3/8"=1'-0"



5 East Elevation SCALE: 3/8"=1'-0"



4 South Elevation SCALE: 3/8"=1'-0"



3 North Elevation SCALE: 3/8"=1'-0"

Reference Notes (elevation)

1

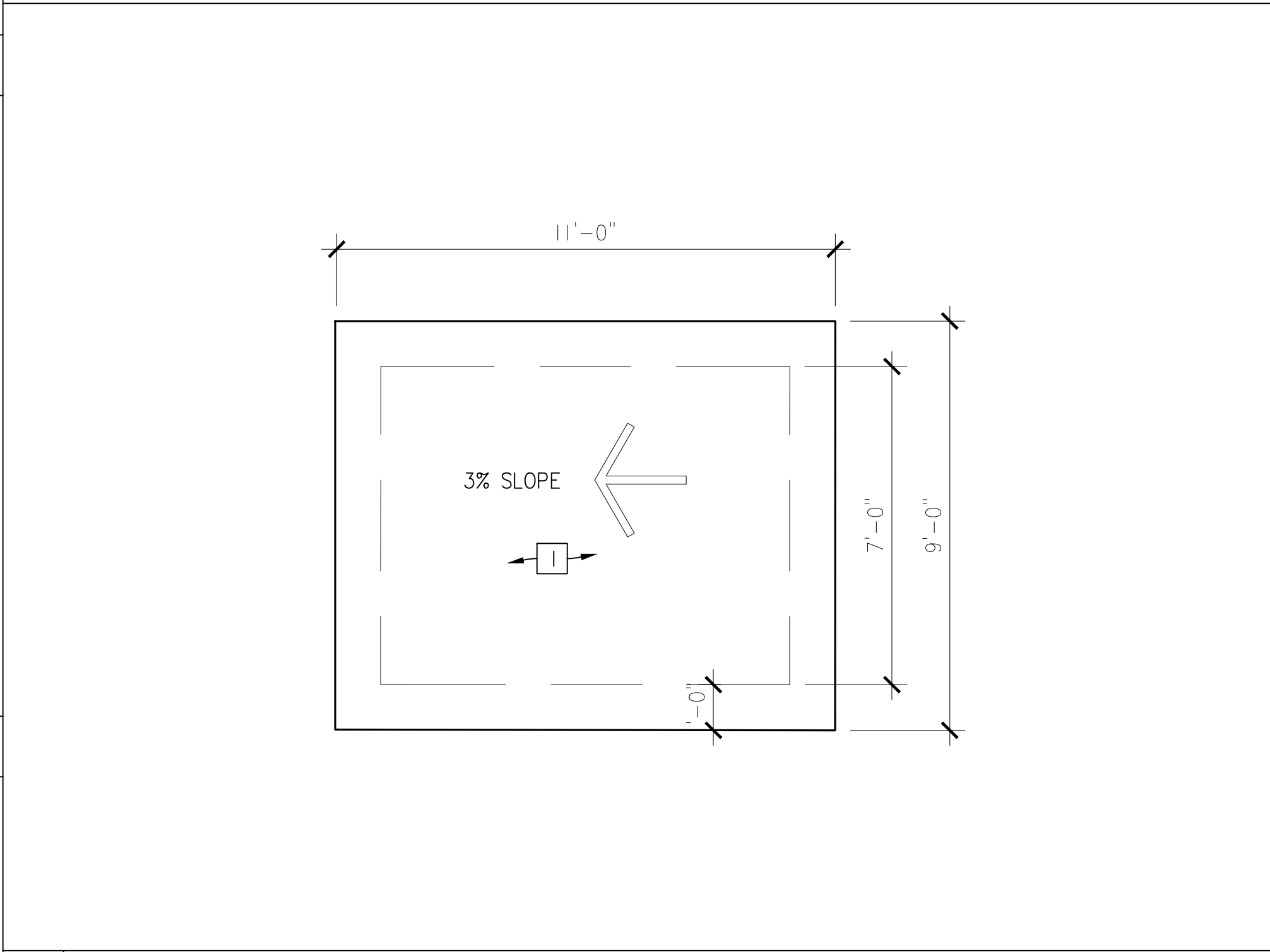
CMU SPLIT FACE WALL FROM ANGELUS BLOCK OR MATCH EQ.
COLOR: ONYX

2

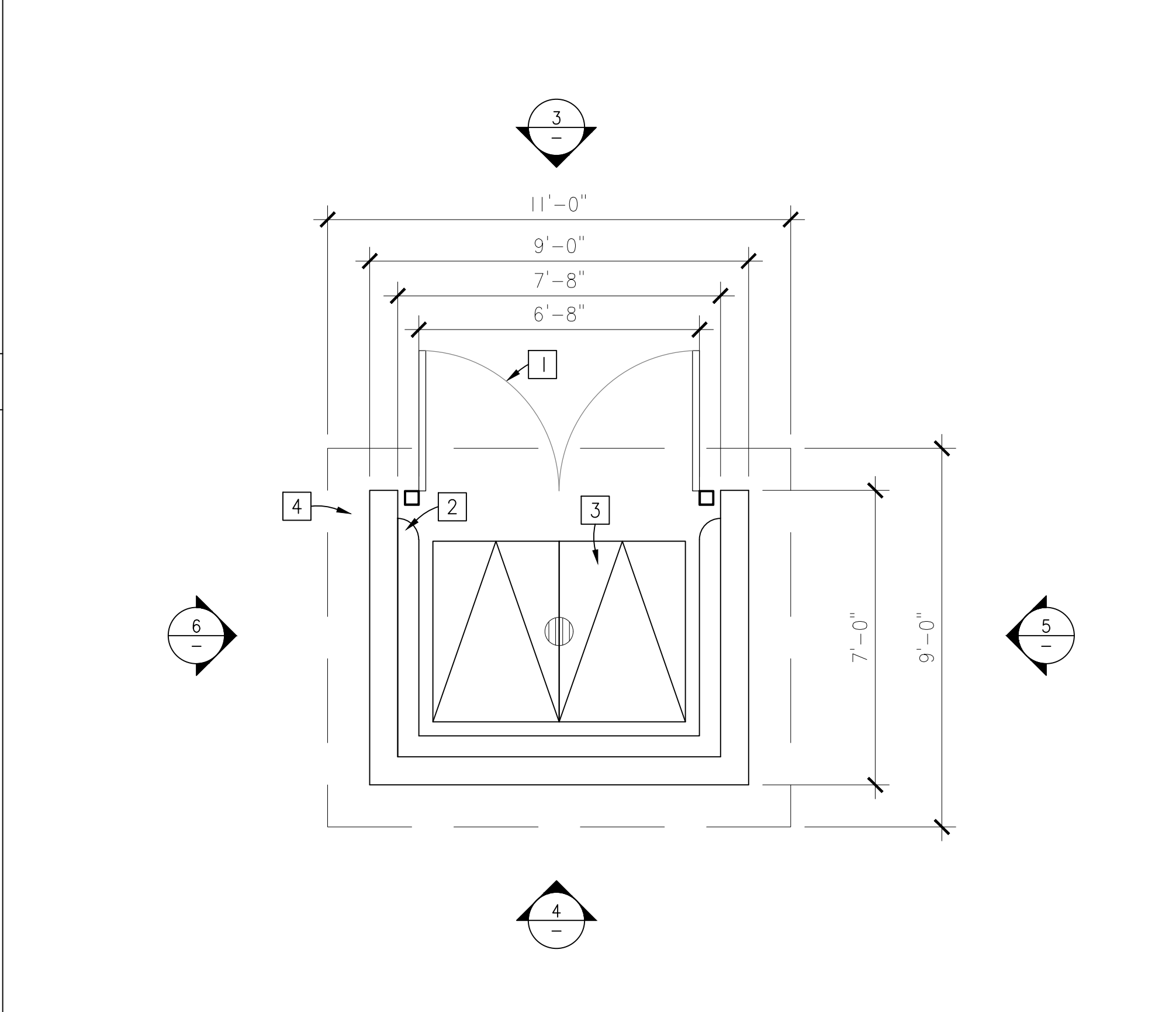
FASCIA W/ PAINT FINISH OR EQ.
COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE

3

ROOFING SHINGLE BY CERTAINTEED LANDMARK CLIMATEFLEX
COLOR: WEATHERED WOOD



2 Trash Enclosure Roof Plan SCALE: 3/8"=1'-0"



1 Trash Enclosure Floor Plan SCALE: 3/8"=1'-0"

TOWN OF MAMMOTH LAKES
RECEIVED
9/22/25

TOWN OF MAMMOTH LAKES
PLANNING APPROVAL

Conditions of Approval: ☒ YES ☐ NO

Date: 9/23/25 Approved By: gmontecallo

Entitlement Document #: UPA 24-003, DR 24-00

Reference Notes (roof plan)

1

ROOFING SHINGLE BY CERTAINTEED LANDMARK
CLIMATEFLEX
COLOR: WEATHERED WOOD

Reference Notes (plan)

1

METAL GATE DOOR

2

CURB

3

TRASH

4

ABOVE ROOF LINE

JOB NO.

DRAWN BY:

SUPERVISED BY:

CHECKED BY:

PLAN CHECK

PERMIT SET

BID SET

REVISIONS

1

FIRST CUP COMMENTS

02/19/2025

2

SECOND CUP COMMENTS

06/12/2025

3

DESIGN COMMITTEE COMMENTS

07/18/2025

4

PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING

08/13/2025

KEY MAP

SEAL/STAMP

SHEET TITLE:

PROPOSED TRASH ENCLOSURE PLAN & ELEVATIONS

PROJECT:

6-UNITS RESIDENTIAL DEVELOPMENT

ADDRESS:

54 MONO ST., MAMMOTH LAKES, CA

CLIENT:

MR. MORARI BIPIN

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CLIENT:

MR. MORARI BIPIN

SHEET TITLE:

PROPOSED TRASH ENCLOSURE PLAN & ELEVATIONS

JOB NO.

DRAWN BY:

SUPERVISED BY:

CHECKED BY:

PLAN CHECK

PERMIT SET

BID SET

REVISIONS

1

FIRST CUP COMMENTS

02/19/2025

2

SECOND CUP COMMENTS

06/12/2025

3

DESIGN COMMITTEE COMMENTS

07/18/2025

4

PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING

08/13/2025

KEY MAP

SEAL/STAMP

SHEET NO:

A1.10

OF SHEETS

4

Reference Notes (Roof plan)

- 1
- ROOF LINE

2

3

4

5

Reference Notes (First floor plan)

- 1
- CONCRETE PAVING

2

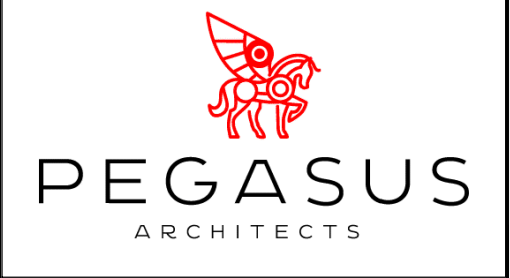
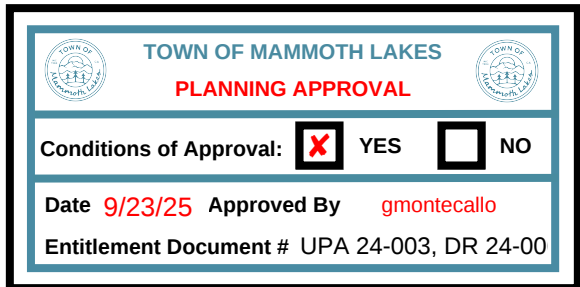
3

4

5

6

General Notes



1717 PIERMONT DRIVE
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TEL: 626.353.3796
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PROJECT: 6-UNITS RESIDENTIAL
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ADDRESS: 54 MONO ST.,
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CLIENT: MR. MORARI BIPIN

PROPOSED
FIRST FLOOR PLAN
& ROOF PLAN

SHEET TITLE:

KEY MAP SEAL/STAMP

JOB NO. -
DRAWN BY: TL/ZL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK
PERMIT SET
BID SET

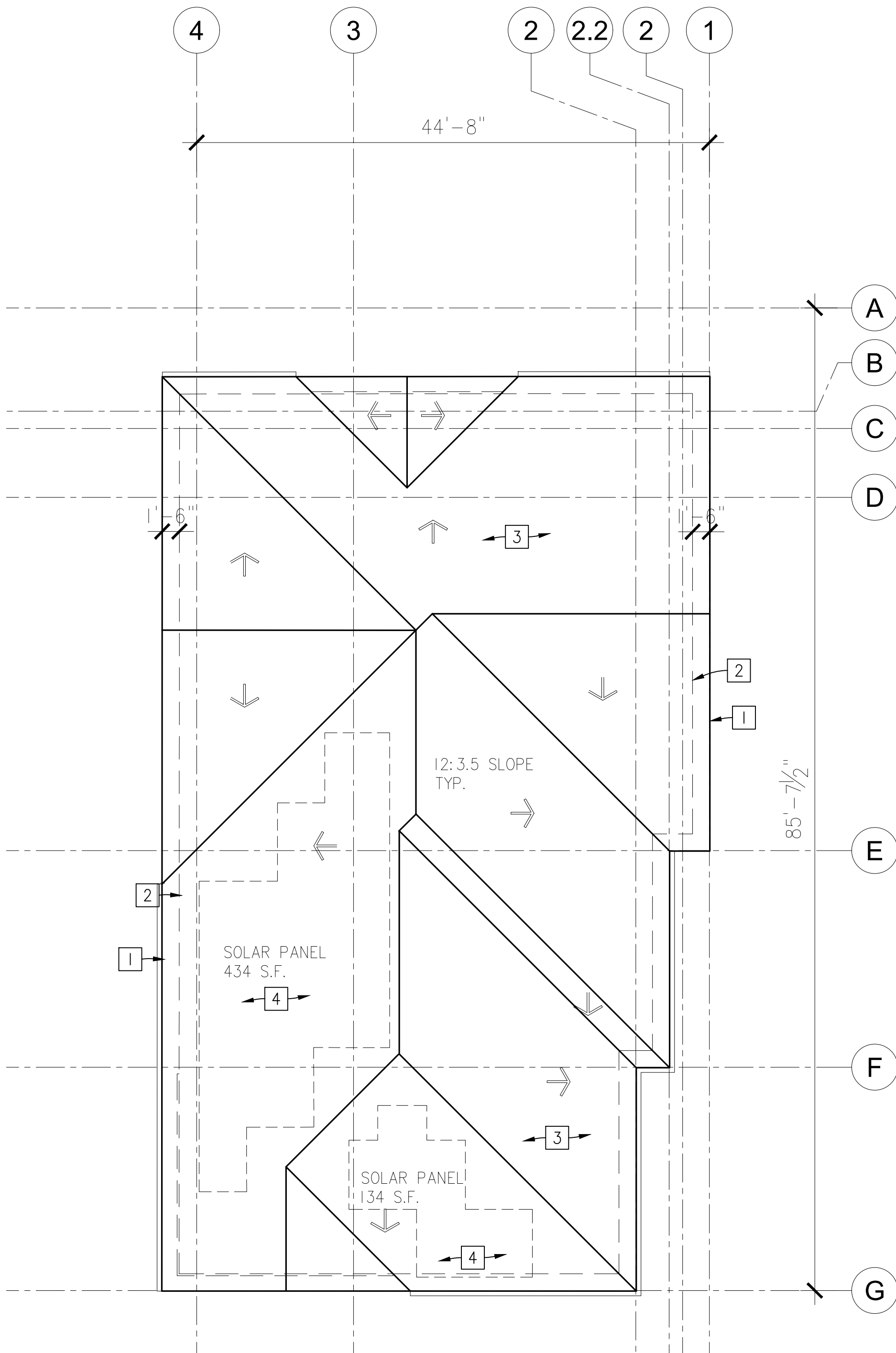
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△	SECOND CUP COMMENTS	06/12/2025
△	DESIGN COMMITTEE COMMENTS	07/18/2025
△	PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING	08/13/2025
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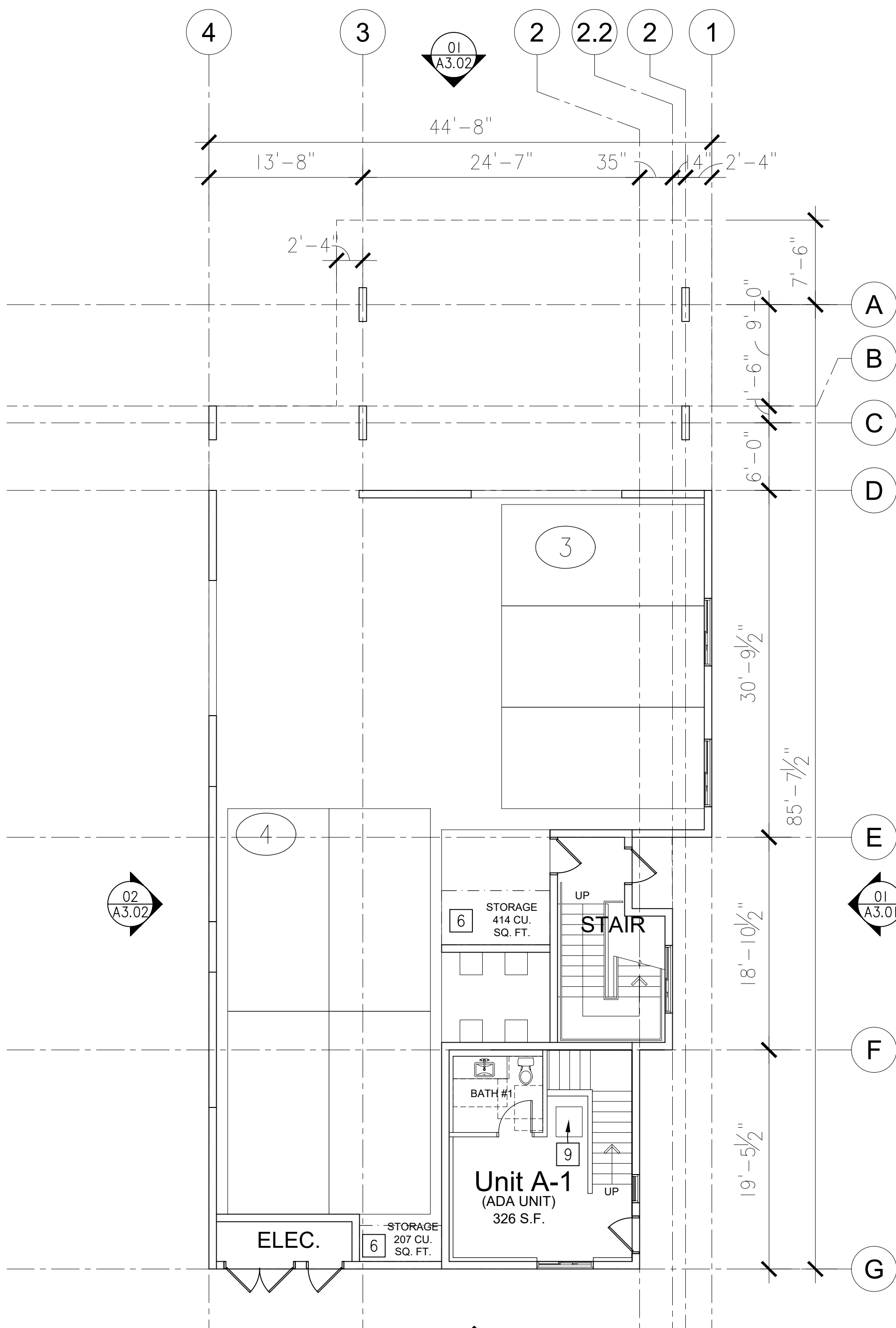
A2.01

OF SHEETS
S H E E T

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SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"

Reference Notes

1

ENTRY DOOR

2

REFRIGERATOR

3

GAS STOVE WITH OVER THE RANGE MICROWAVE

4

DISHWASHER

5

PLUMBING FIXTURES

6

SINK & FAUCET

7

SLIDING DOOR

8

SLIDING POCKET DOOR

9

WASHER AND DRYER COMBO

10

TANKLESS WATER HEATER

11

CLOSET

12

36" HT. HANDRAIL

13

ROOF HATCH ON THIRD FLOOR

14

KITCHEN COUNTER

15

CABINET

Reference Notes

1

ENTRY DOOR

2

REFRIGERATOR

3

GAS STOVE WITH OVER THE RANGE MICROWAVE

4

DISHWASHER

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10

TANKLESS WATER HEATER

11

CLOSET

12

36" HT. HANDRAIL

13

ROOF HATCH ON THIRD FLOOR

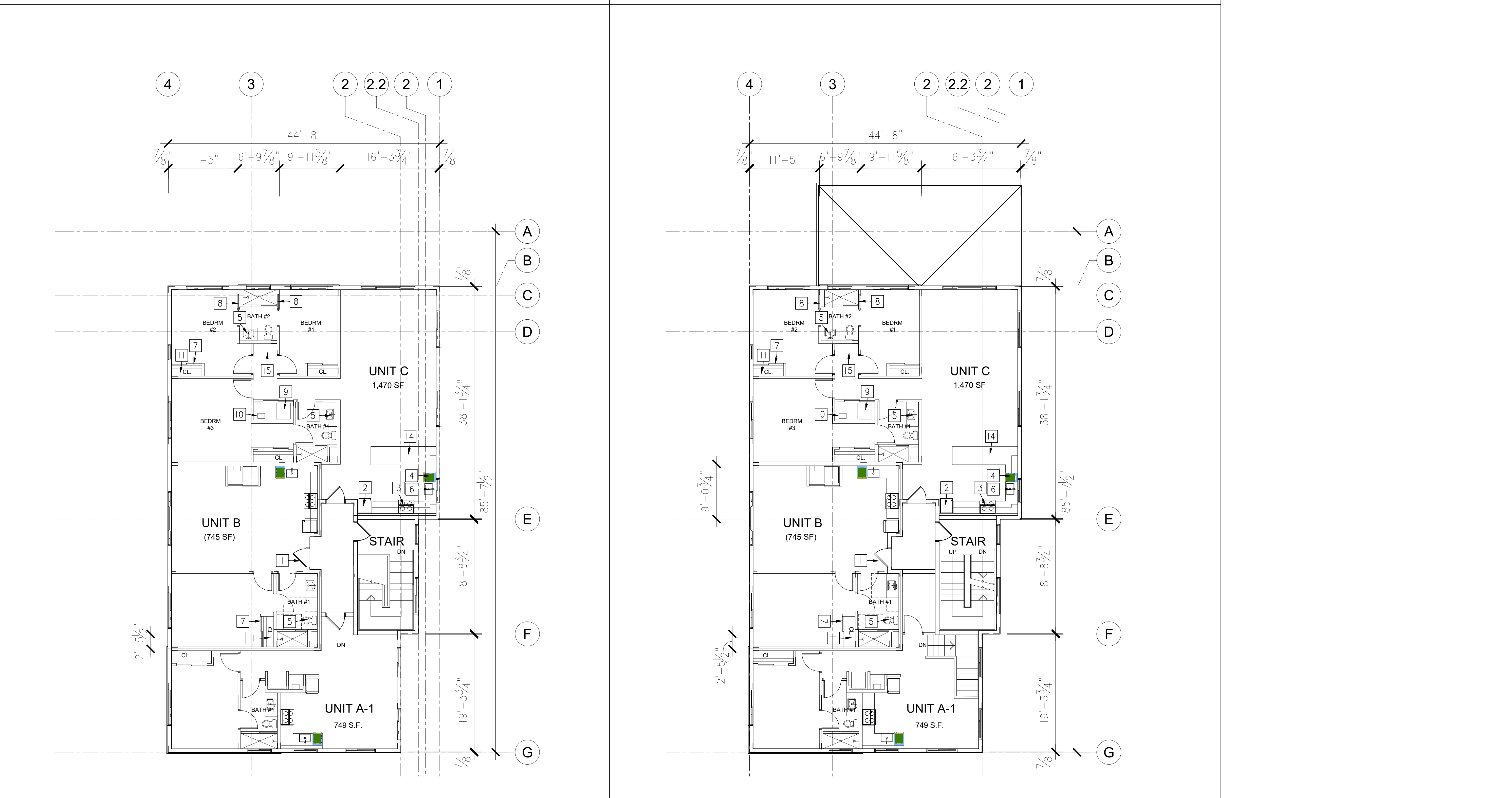
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KITCHEN COUNTER

15

CABINET

General Notes



PEGASUS

ARCHITECTS

1717 PIERMONT DRIVE

HACIENDA HEIGHTS, CA 91745

TEL: 626.353.3796

E: CHAK@PEGASUSARC.COM

PROJECT: 6-UNITS RESIDENTIAL DEVELOPMENT

ADDRESS: 54 MONO ST., MAMMOTH LAKES, CA

CLIENT: MR. MORARI BIPIN

PROPOSED SECOND & THIRD FLOOR PLAN

SHEET TITLE:

KEY MAP

SEAL/STAMP

JOB NO.

DRAWN BY: TL/ZL

SUPERVISED BY: TL

CHECKED BY: TL

PLAN CHECK

PERMIT SET

BID SET

REVISIONS

1

FIRST CLP COMMENTS

02/19/2025

2

SECOND CLP COMMENTS

06/12/2025

3

DESIGN COMMITTEE COMMENTS

07/18/2025

4

PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING

08/13/2025

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SHEET NO:

A2.02

OF SHEETS

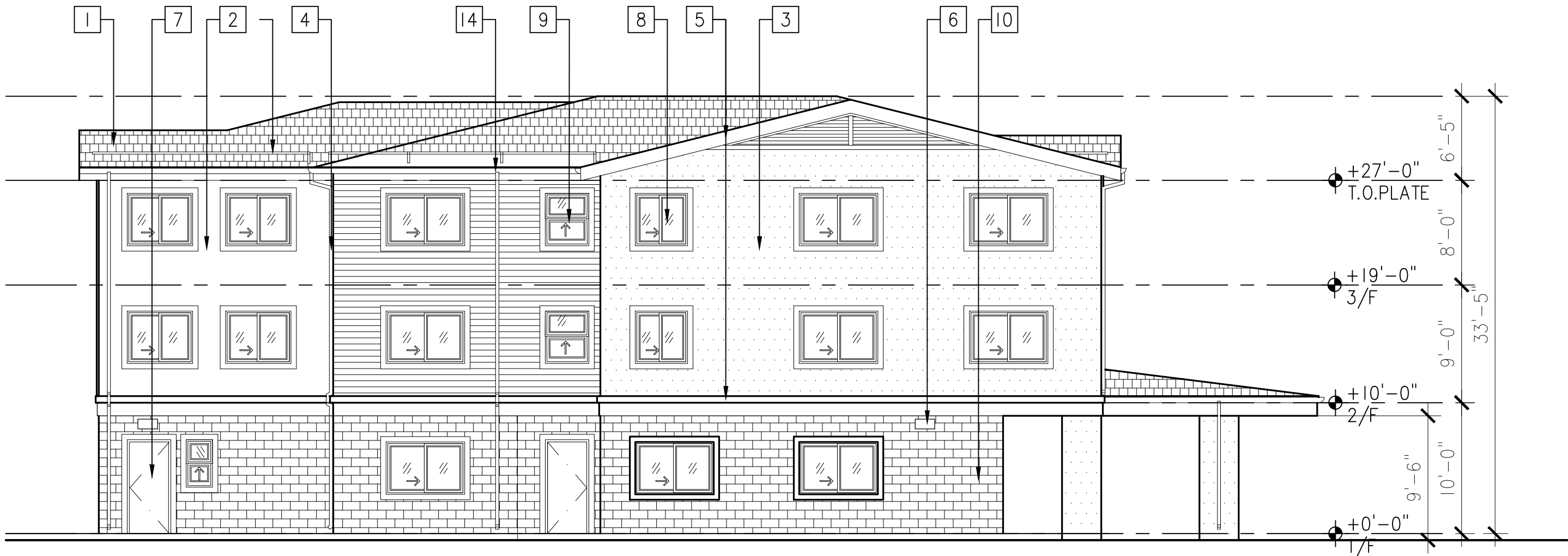
SHEET

		General Note 1. EXTERIOR WALLS SHALL COMPLY WITH CBC SECTION 705 FOR FIRE-RESISTANCE. 2.	Reference Notes 1 ROOFING SHINGLE BY CERTAINTEED LANDMARK CLIMATEFLEX COLOR: WEATHERED WOOD 2 SIDING BY NEWTECHWOOD ALL WEATER SIDING & CLADDING COLOR: BRAZILIAN IPE (IP) 3 LA HABRA STUCCO W/ PAINT FINISH OR EQ. SANTA BARBARA MISSION FINISH COLOR: SHERWIN WILLIAMS SW 7743 MOUNTAIN ROAD 4 LA HABRA STUCCO W/ PAINT FINISH OR EQ. SANTA BARBARA MISSION FINISH COLOR: SHERWIN WILLIAMS SW 7023 REQUISITE GRAY 5 FASCIA, WINDOW AND DOOR TRIM, & FOAM MOULDING W/ PAINT FINISH OR EQ. COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE 6 EXTERIOR WALL MOUNT LIGHT OR MATCH EQ. BRAND: LITHONIA SERIES: WDGE LED ARCHITECTURAL WALL LUMINAIRE TYPE: WDGE3 LED WALL MOUNT 7 EXTERIOR METAL DOOR W/ PAINT FINISH COLOR: SHERWIN WILLIAM SW 7023 REQUISITE GRAY 8 HORIZONTAL SLIDER ALUMINUM WINDOW BY MILGARD OR MATCH EQ. SERIES: A250 THERMALLY IMPROVED ALUMINUM EXTERIOR COLOR: CLEAR ANODIZED INTERIOR COLOR: CLEAR ANODIZED 9 SINGLE HUNG ALUMINUM WINDOW BY MILGARD OR MATCH EQ. SERIES: A250 THERMALLY IMPROVED ALUMINUM EXTERIOR COLOR: CLEAR ANODIZED INTERIOR COLOR: CLEAR ANODIZED 10 CMU SPLIT FACE WALL FROM ANGELUS BLOCK OR MATCH EQ. COLOR: ONYX 11 METAL GATE W/ PAINT FINISH COLOR: BLACK 12 METAL GUARDRAIL W/ PAINT FINISH COLOR: BLACK 13 SNOW RAIL W/ PAINT FINISH COLOR: BLACK 14 HEATED RAIN GUTTER W/ PAINT FINISH OR EQ. COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE 15 WINDOW OPENING
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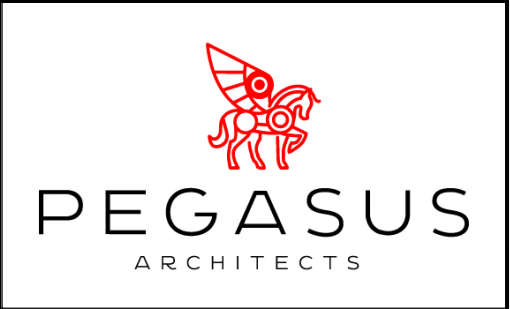
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SCALE: 1/8"=1'-0"



1 East Elevation

SCALE: 1/8"=1'-0"



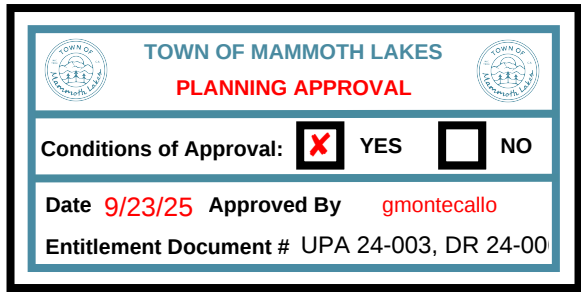
1717 PIERMONT DRIVE
HACIENDA HEIGHTS, CA 91745
TEL: 626.353.3796
E: CHAK@PEGASUSARC.COM

PROJECT: 6-UNITS RESIDENTIAL DEVELOPMENT
ADDRESS: 54 MONO ST., MAMMOTH LAKES, CA
CLIENT: MR. MORARI BIPIN

PROPOSED
SINGLE UNIT
ELEVATIONS
(BUILDING "A" & "AR")

SHEET TITLE:

KEY MAP SEAL/STAMP



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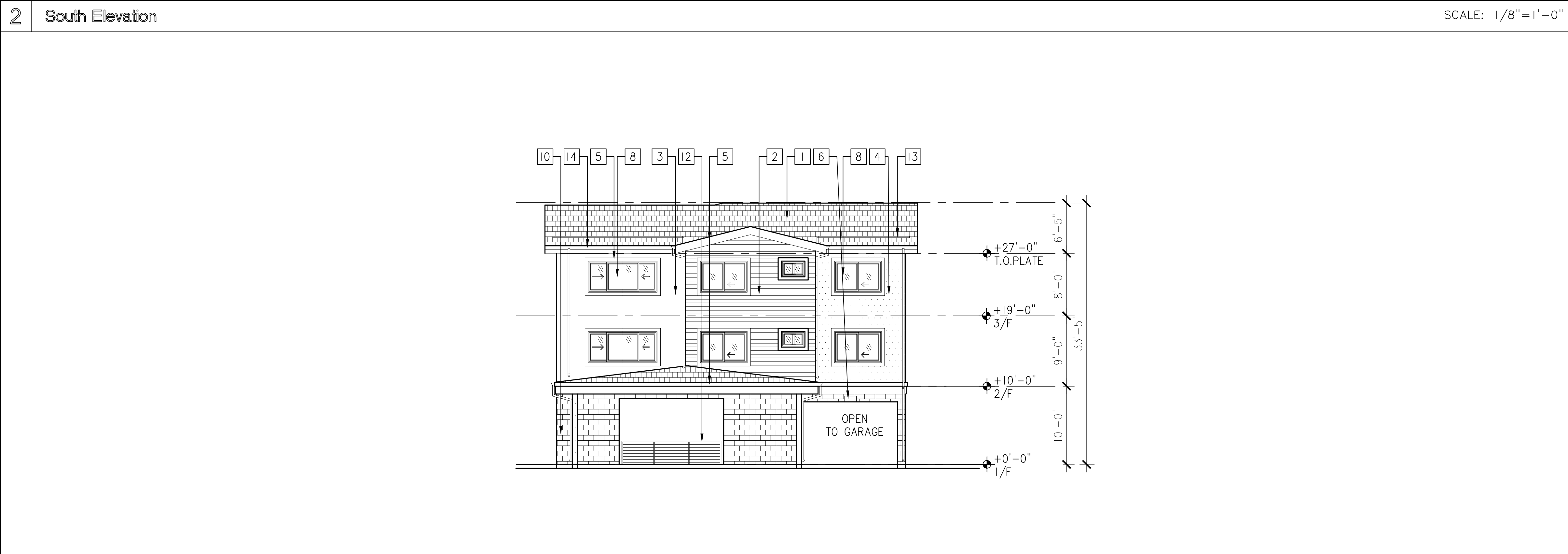
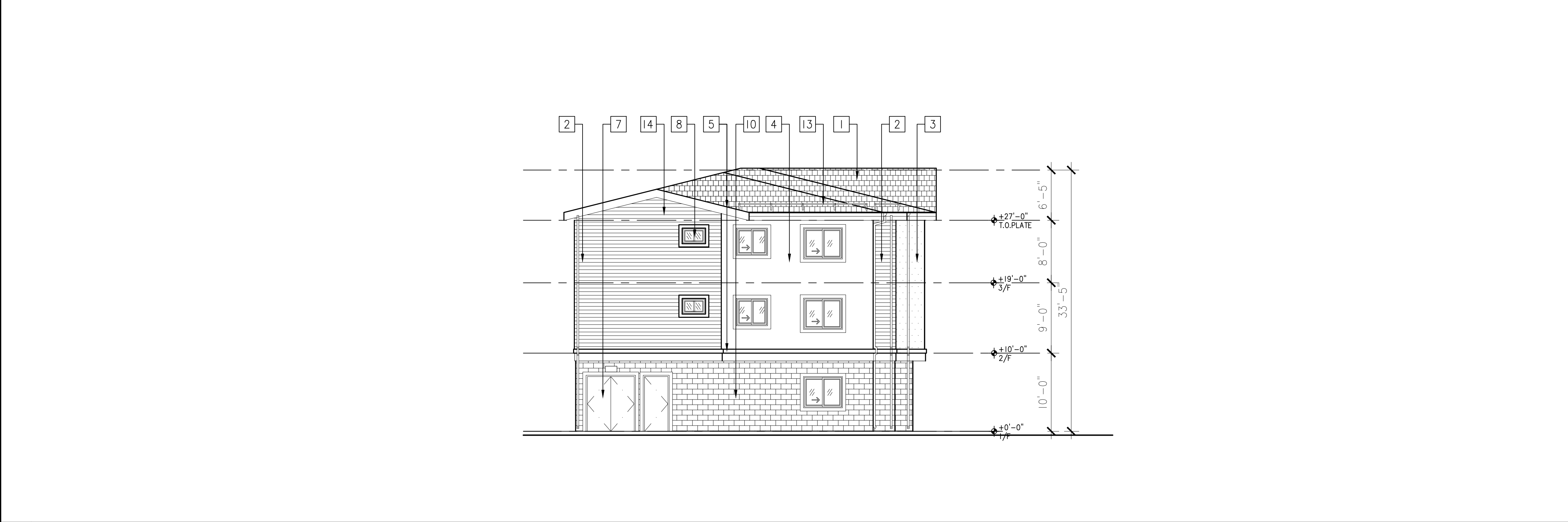
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△	PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING	08/13/2025
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SHEET NO:

A3.01

OF SHEETS
S H E E T

	Color Legend -	General Note 1. EXTERIOR WALLS SHALL COMPLY WITH CBC SECTION 705 FOR FIRE-RESISTANCE. 2.
--	---	---



1	North Elevation	SCALE: 1/8"=1'-0"
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PEGASUS
ARCHITECTS

1717 PIERMONT DRIVE
HACIENDA HEIGHTS, CA 91745

TEL: 626.353.3796
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ADDRESS: 54 MONO ST., MAMMOTH LAKES, CA

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PROPOSED
SINGLE UNIT
ELEVATIONS
(BUILDING "A" & "AR")

SHEET TITLE:

KEY MAP

SEAL/STAMP

JOB NO. -

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CHECKED BY: TL

PLAN CHECK: / / /

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BID SET: / / /

REVISIONS

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△	SECOND CUP COMMENTS	06/12/2025
△	DESIGN COMMITTEE COMMENTS	07/18/2025
△	PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING	08/13/2025
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SHEET NO:

A3.02

OF SHEETS

SHEET

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General Note

1.
- EXTERIOR WALLS SHALL COMPLY WITH CBC SECTION 705 FOR FIRE-RESISTANCE.
2.

Reference Notes

- 1

ROOFING SHINGLE BY CERTAINTEED LANDMARK CLIMATEFLEX
COLOR: WEATHERED WOOD
- 2

SIDING BY NEWTECHWOOD ALL WEATER SIDING & CLADDING
COLOR: BRAZILIAN IPE (IP)
- 3

LA HABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: SHERWIN WILLIAMS SW 7743 MOUNTAIN ROAD
- 4

LA HABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: SHERWIN WILLIAMS SW 7023 REQUISITE GRAY
- 5

FASCIA, WINDOW AND DOOR TRIM, & FOAM MOULDING W/
PAINT FINISH OR EQ.
COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE
- 6

EXTERIOR WALL MOUNT LIGHT OR MATCH EQ.
BRAND: LITHONIA
SERIES: WDGE LED ARCHITECTURAL WALL LUMINAIRE
TYPE: WDGE3 LED WALL MOUNT
- 7

EXTERIOR METAL DOOR W/ PAINT FINISH
COLOR: SHERWIN WILLIAM SW 7023 REQUISITE GRAY
- 8

HORIZONTAL SLIDER ALUMINUM WINDOW BY MILGARD
OR MATCH EQ.
SERIES: A250 THERMALLY IMPROVED ALUMINUM
EXTERIOR COLOR: CLEAR ANODIZED
INTERIOR COLOR: CLEAR ANODIZED
- 9

SINGLE HUNG ALUMINUM WINDOW BY MILGARD OR MATCH EQ.
SERIES: A250 THERMALLY IMPROVED ALUMINUM
EXTERIOR COLOR: CLEAR ANODIZED
INTERIOR COLOR: CLEAR ANODIZED
- 10

CMU SPLIT FACE WALL FROM ANGELUS BLOCK OR MATCH EQ.
COLOR: ONYX
- 11

METAL GATE W/ PAINT FINISH
COLOR: BLACK
- 12

METAL GUARDRAIL W/ PAINT FINISH
COLOR: BLACK
- 13

SNOW RAIL W/ PAINT FINISH
COLOR: BLACK
- 14

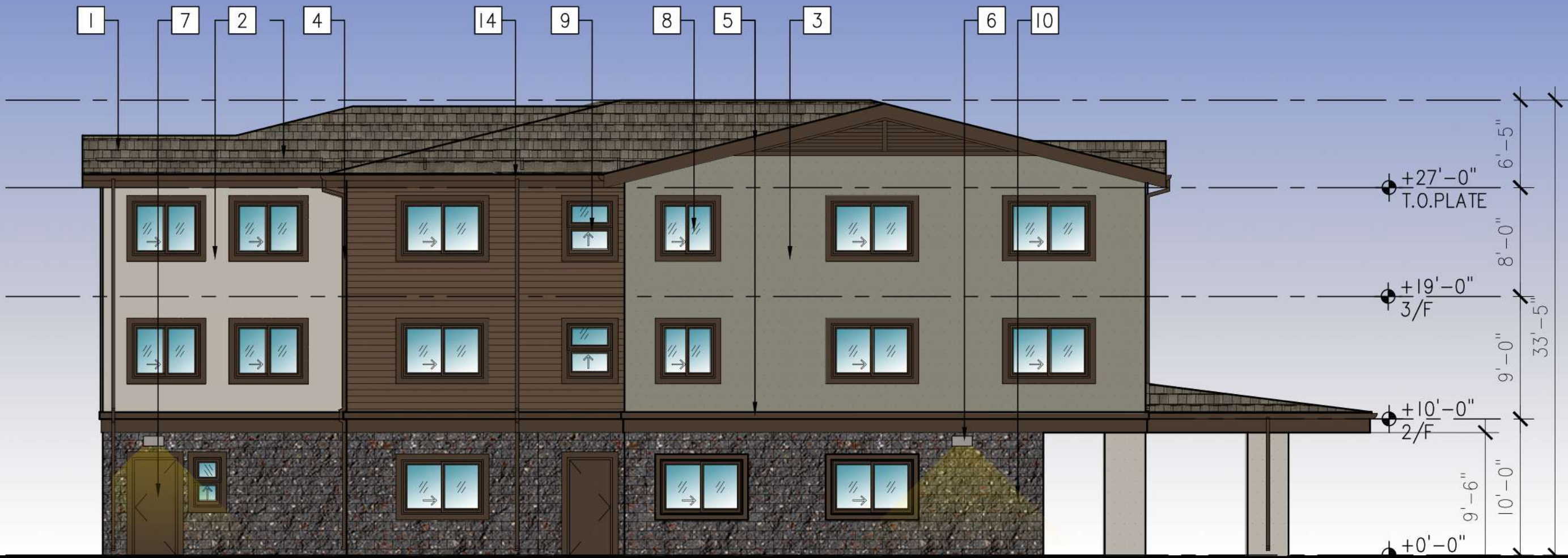
HEATED RAIN GUTTER W/ PAINT FINISH OR EQ.
COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE
- 15

WINDOW OPENING



2 West Elevation

SCALE: 1/8"=1'-0"



1 East Elevation

SCALE: 1/8"=1'-0"



1717 PIERMONT DRIVE
HACIENDA HEIGHTS, CA 91745
TEL: 626.353.3796
E: CHAK@PEGASUSARC.COM

PROJECT: 6-UNITS RESIDENTIAL
DEVELOPMENT
ADDRESS: 54 MONO ST.,
MAMMOTH LAKES, CA
CLIENT: MR. MORARI BIPIN

PROPOSED
SINGLE UNIT
ELEVATIONS
(BUILDING "A" & "AR")

SHEET TITLE:

KEY MAP

SEAL/STAMP

JOB NO. -
DRAWN BY: TL/ZL
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CHECKED BY: TL
PLAN CHECK: / / /
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BID SET: / / /

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SHEET NO:

A3.01

OF SHEETS

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Color Legend

-

General Note

1.

EXTERIOR WALLS SHALL COMPLY WITH CBC SECTION 705 FOR FIRE-RESISTANCE.

2.

Reference Notes

1

ROOFING SHINGLE BY CERTAINTEED LANDMARK CLIMATEFLEX COLOR: WEATHERED WOOD

2

SIDING BY NEWTECHWOOD ALL WEATER SIDING & CLADDING COLOR: BRAZILIAN IPE (IP)

3

LA HABRA STUCCO W/ PAINT FINISH OR EQ. SANTA BARBARA MISSION FINISH COLOR: SHERWIN WILLIAMS SW 7743 MOUNTAIN ROAD

4

LA HABRA STUCCO W/ PAINT FINISH OR EQ. SANTA BARBARA MISSION FINISH COLOR: SHERWIN WILLIAMS SW 7023 REQUISITE GRAY

5

FASCIA, WINDOW AND DOOR TRIM, & FOAM MOULDING W/ PAINT FINISH OR EQ. COLOR: SHERWIN WILLIAMS SW 9183 DARK CLOVE

6

EXTERIOR WALL MOUNT LIGHT OR MATCH EQ. BRAND: LITHONIA SERIES: WDGE LED ARCHITECTURAL WALL LUMINAIRE TYPE: WDGE3 LED WALL MOUNT

7

EXTERIOR METAL DOOR W/ PAINT FINISH COLOR: SHERWIN WILLIAM SW 7023 REQUISITE GRAY

8

HORIZONTAL SLIDER ALUMINUM WINDOW BY MILGARD OR MATCH EQ. SERIES: A250 THERMALLY IMPROVED ALUMINUM EXTERIOR COLOR: CLEAR ANODIZED INTERIOR COLOR: CLEAR ANODIZED

9

SINGLE HUNG ALUMINUM WINDOW BY MILGARD OR MATCH EQ. SERIES: A250 THERMALLY IMPROVED ALUMINUM EXTERIOR COLOR: CLEAR ANODIZED INTERIOR COLOR: CLEAR ANODIZED

10

CMU SPLIT FACE WALL FROM ANGELUS BLOCK OR MATCH EQ. COLOR: ONYX

11

METAL GATE W/ PAINT FINISH COLOR: BLACK

12

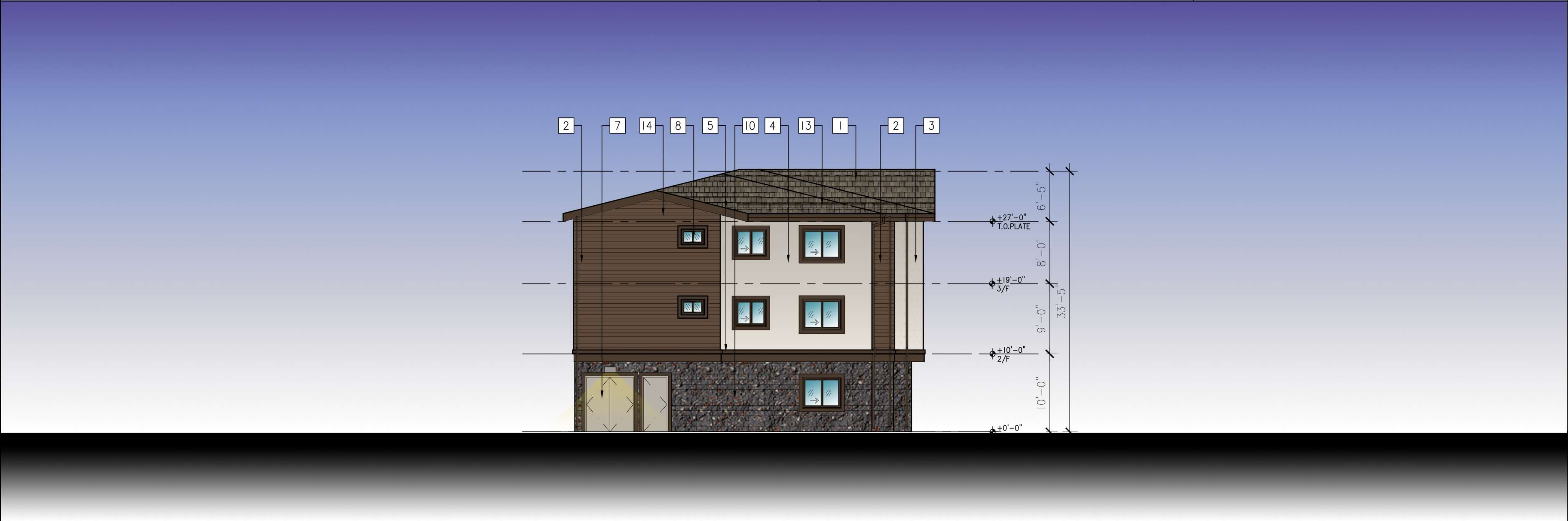
METAL GUARDRAIL W/ PAINT FINISH COLOR: BLACK

13

SNOW RAIL W/ PAINT FINISH COLOR:

14

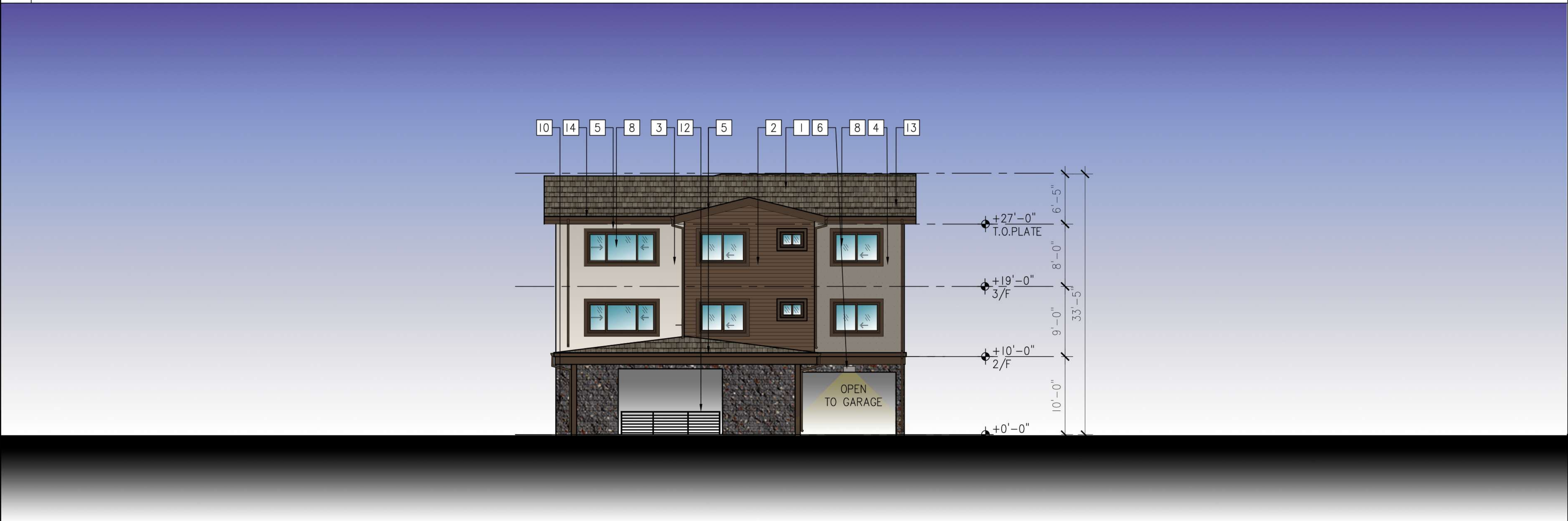
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2

South Elevation

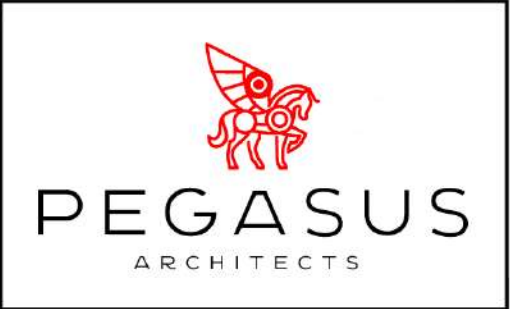
SCALE: 1/8"=1'-0"



1

North Elevation

SCALE: 1/8"=1'-0"



1717 PIERMONT DRIVE
HACIENDA HEIGHTS, CA 91745
TEL: 626.353.3796
E: CHAK@PEGASUSARC.COM

PROJECT: 6-UNITS RESIDENTIAL DEVELOPMENT

ADDRESS: 54 MONO ST., MAMMOTH LAKES, CA

CLIENT: MR. MORARI BIPIN

PROPOSED SINGLE UNIT ELEVATIONS (BUILDING "A" & "AR")

SHEET TITLE:

KEY MAP

SEAL/STAMP

JOB NO. -

DRAWN BY: TL/ZL

SUPERVISED BY: TL

CHECKED BY: TL

PLAN CHECK

PERMIT SET

BID SET

REVISIONS

△

FIRST CLP COMMENTS

02/19/2025

△

SECOND CLP COMMENTS

06/12/2025

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DESIGN COMMITTEE COMMENTS

07/18/2025

△

PLANNING & ECONOMIC DEVELOPMENT COMMISSION HEARING

08/13/2025

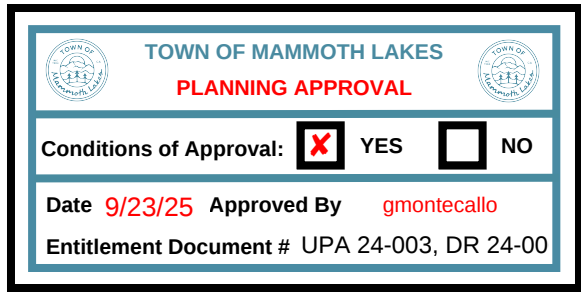
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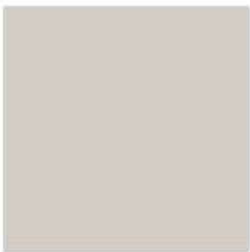


6-UNITS RESIDENTIAL DEVELOPMENT
54 MONO ST., MAMMOTH LAKES, CA

TOWN OF MAMMOTH LAKES	
PLANNING APPROVAL	
Conditions of Approval:	☒ YES ☐ NO
Date	8/13/25
Approved By	gmontecallo
Entitlement Document # UPA 24-003, DR 24-00	



SIDING BY NEWTECHWOOD ALL WEATHER SIDING
& CLADDING
COLOR: BRAZILIAN IPE (IP)



LA HABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
SHERWIN-WILLIAMS, PAINT
COLOR: SW 9165 GOSSAMER VEIL



LA HABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
SHERWIN-WILLIAMS, PAINT
COLOR: SW 9183 DARK CLOVE



ROOFING SHINGLE BY CERTAINTEED LANDMARK CLIMATEFLEX
COLOR: WEATHERED WOOD



FASCIA, WINDOW AND DOOR TRIM & FOAM MOULDING
W/ PAINT FINISH OR EQ.
SHERWIN-WILLIAMS, PAINT
COLOR: SW 9183 DARK CLOVE



EXTERIOR WALL MOUNT LIGHT OR MATCH EQ.
BRAND: LITHONIA
SERIES: WDGE LED ARCHITECTURAL WALL LUMINAIRE
TYPE: WDGE3 LED WALL MOUNT



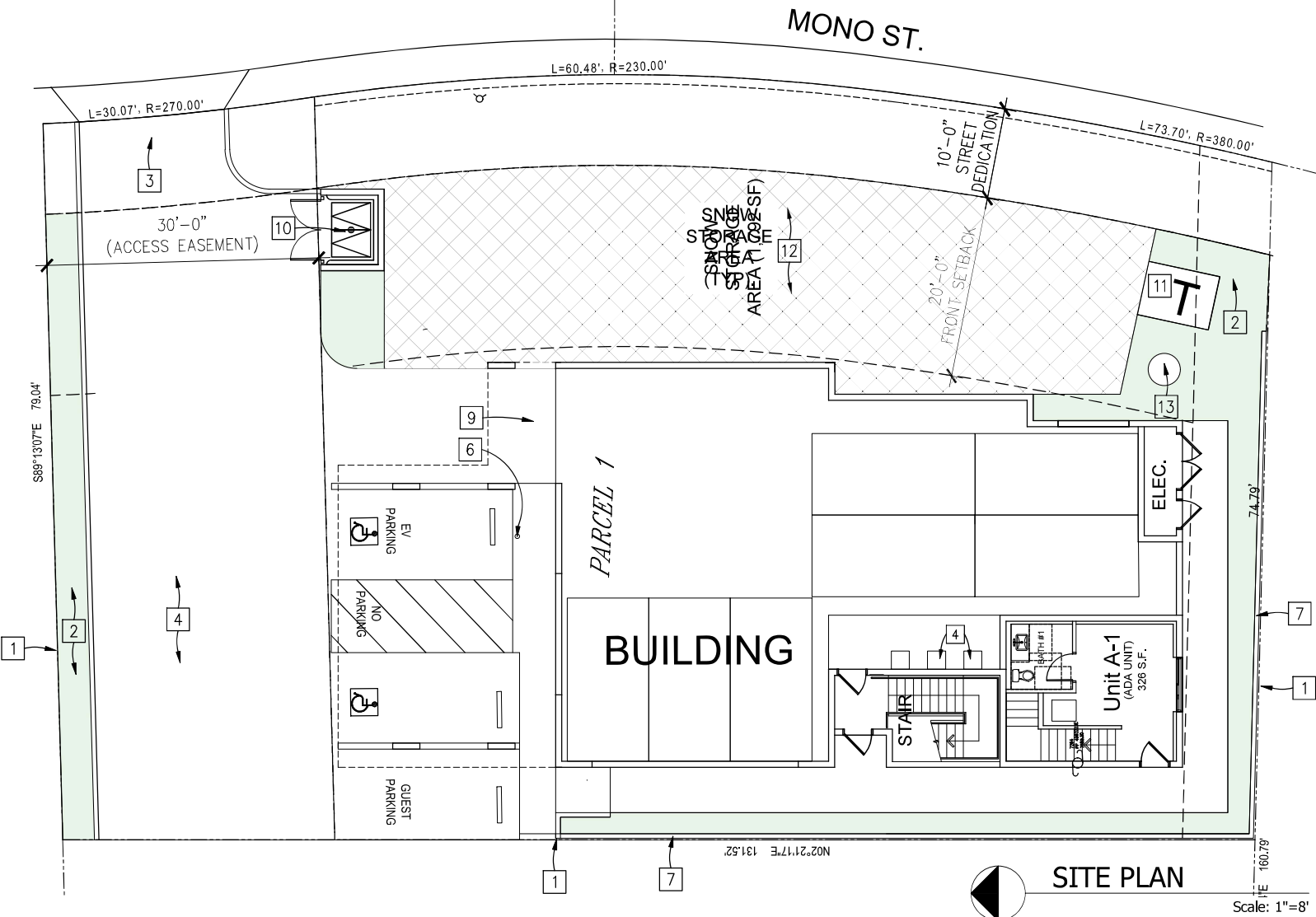
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COLOR: MOSS



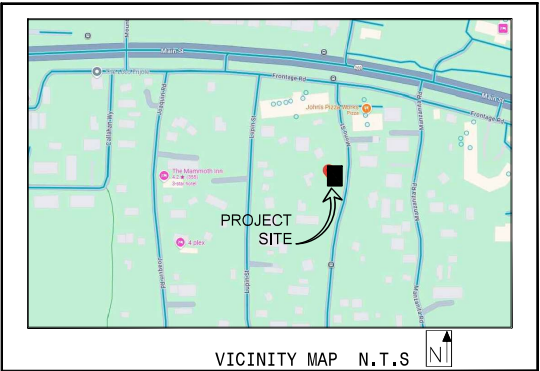
ARCHITECTURAL LANDSCAPE PLANS

6-UNITS RESIDENTIAL DEVELOPMENT

54 MONO ST.,
MAMMOTH LAKES, CA 93546



SITE PLAN
Scale: 1"=8'



TOTAL LANDSCAPE AREA = 869 s.f.

SHEET INDEX

L-1	TITLE SHEET
L-2	PLANTING PLAN
L-3	IRRIGATION PLAN
L-4	IRRIGATION DETAILS

Project Directory

OWNER:
MR. MORARI BIPIN
54 MONO ST.,
MAMMOTH LAKES, CA

ARCHITECT:
C.F. LAU, A.I.A.
PEGASUS ARCHITECTS
4300 EDISON AVE.,
CHINO, CA 91710
TEL: (909) 465.4101

CIVIL:
BLUE ENGINEERING & CONSULTANTS
MARTIN GONZALEZ
9320 BASELINE RD., SUITE D
RANCHO CUCAMONGA, CA 91710
TEL: (909) 970-5654

LANDSCAPE ARCHITECT:
PHILMAY LANDSCAPE ARCHITECT
ROSALIO SERNA
2532 WALLACE AVENUE
FULLERTON, CA 92831
TEL: (909) 373-1959

Scope Of Work

NEW CONSTRUCTION OF A 6-UNITS RESIDENTIAL APARTMENTS

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

- I am a professional appropriately licensed in the State of California to provide professional landscape design services.
- The landscape design and water use calculations for the property located at 54 Mono St., Mammoth Lakes, CA
- (provide street address or parcel number(s)) were prepared by me or under my supervision.
- The landscape design and water use calculations for the identified property comply with the requirements of the City of Mammoth Water Efficient Landscape Ordinance (Municipal Code Chapter 13.18) and the City of Mammoth Water Efficient Landscape Guidelines.
- The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of Mammoth Water Efficient Landscape Guidelines.

PHIL MAY 06-18-2025
Print Name Date
Signature License Number
1937 W/ 9 TH. STREET UPLAND, CA 91786
Address

(909) 373-1959
Telephone
Landscape Design Professional's Stamp

pmay@philmaydesign.com
E-mail Address



RECOMMENDED MINIMUM LANDSCAPE MAINTENANCE SCHEDULE												
WEEKLY TASKS												
• Check all irrigation equipment and adjust/ align as required.												
• Remove landscape debris.												
• Aerate and dethatching turf areas.												
• Repair planting well and/ or grade around plants to eliminate runoff.												
• Perform corrective pruning to eliminate hazards and damage to plant after 2nd Year of Growth.												
MINIMUM RECOMMENDED YEARLY MAINTENANCE SCHEDULE												
Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Adjust Irrigation Schedule	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Inspect Tree Staking	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Flush Drip Valves			✓			✓			✓			✓
Add Mulch (Maintain 3" Layer)			✓			✓			✓			✓
Fertilization: Reference to Agronomical Soils report on these plans		✓			✓			✓			✓	

Reference Notes

- PROPERTY LINE
- (N) LANDSCAPE
- (N) DRIVE WAY
- (N) ASPHALT PAVING
- FIRE TURNAROUND
- NOT IN USED
- (N) 6'-0" HT. CMU SPLITFACE W/ 2" CONCRETE CAP FENCE WALL
- NOT IN USED
- (N) 4'-0" WIDE CONCRETE WALKWAY
- (N) TRASH ENCLOSURE PER CITY STANDARD
- (N) TRANSFORMER
- (N) SNOW STORAGE AREA (1,792 SF)
- (N) DRYWELL PER CIVIL PLAN

MAINTENANCE RESPONSIBILITY
All improvements to be maintained by
developer/property owner.



TOWN OF MAMMOTH LAKES
PLANNING APPROVAL

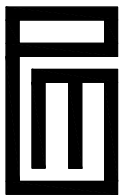
Conditions of Approval: ☒ YES ☐ NO

Date 8/13/25 Approved By gmontecallo

Entitlement Document # UPA 24-003, DR 24-00



REVISIONS	BY



PHIL MAY
LANDSCAPE
ARCHITECTURE

2532 Wallace Ave.
Fullerton, CA 92831

Phone: 909 373 1959

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COVER SHEET

6-UNITS RESIDENTIAL
DEVELOPMENT
54 MONO ST.,
MAMMOTH LAKES, CA

DRAWN
R.S.

CHECKED
R.S.

DATE
06-18-2025

L-1

OF 4 SHEETS

JOB NO.
24089

PLANTING NOTES

- Contractor is to review plans, verify site conditions and plant quantities prior to installation. Contractor shall take sole responsibility for any cost incurred due to damage of existing utilities. Plant material quantities are listed for the convenience of the Contractor. Actual number of symbols shall have priority over quantity designated. Conflicts between the Owner and these plans or within these plans shall be brought to the attention of the Landscape Architect prior to landscape installation. Any deviation(s) from the plans or specifications will require written approval from the Owner and/or Landscape Architect. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- The Contractor shall maintain a qualified supervisor on the site at all times during construction through completion of pick-up work.
- The Contractor shall receive site graded within 0.10 foot of finish grade. Commencement of work indicates Contractor's acceptance of existing grades and conditions. Final grades shall be adjusted by Contractor as directed by Owner's representative. All grading shall be completed prior to commencement of planting operation.
- The Contractor shall furnish and pay for all container grown trees, shrubs, vines, seeded/sodded turf, hydromulches, and flatted groundcovers. The Contractor shall also be responsible for and pay for planting, staking, and guarantee of all plant materials. See planting details for planting and staking/guying requirements.
- The Landscape Architect and/or Owner shall approve plant material placement by Contractor prior to installation.
- Contractor shall follow the soil's report recommendations, and shall uniformly broadcast amendments over planting areas only. Landscape contractor to attain Agronomical Soils report after all major grading has been completed.
- The planting pits for trees shall be dug twice the diameter of the root ball and two inches shallower than the rootball. Planting pits for shrubs and perennials shall be dug twice the original root ball width, and one-and-a-half times as deep as the rootball. Planting pits for groundcovers shall be dug one-and-a-half times the original root ball size in all directions.
- Provide root barriers to all new trees planted within five(5) feet of paved areas. The root barrier shall be installed per manufacture specifications. For trees planted in square or circular tree wells; the root barrier shall be install around entire perimeter edge of the well planter.
- Provide jute netting on all slopes 4:1 or greater.
- The Landscape Contractor shall maintain all planted areas shown on the plans, including (but not limited to) watering, pruning, edging, and mowing, for a period of thirty (30) days after completion of project and acceptance by Owner.
- The Landscape Contractor shall warranty and replace any plant material that shows signs of lack of vigor or other unhealthy appearance within ninety (90) days of completion of contract. Trees that have been topped or otherwise improperly pruned by the Contractor shall be removed and replaced by the Contractor at no cost to the Owner.

Linear Style Planting with DeepRoot Barriers

Determine the correct number of panels to be used. Depending upon the actual planting plan and the number of trees involved the length of linear barrier will vary, but as a general rule of thumb take the anticipated mature canopy diameter of the tree and add 2 feet (61cm). This will be the number of feet necessary for a Linear style planting application. (See chart below.)

A. Dig the trench to the depth based upon the particular barrier chosen.

B. Install the barrier. When using DeepRoot Linear Barriers simply pull the appropriate number of panels out of the box (they come preassembled) and separate the joiner at the correct length. When installing DeepRoot Universal Barriers in a linear fashion you will need to join the appropriate number of panels together.

C. Next place the barrier in the trench with the vertical ribs facing toward the tree and align in a straight fashion. It is helpful to place the barrier against the hardscape. Use the hardscape as a guide and backfill against the barriers to promote a clean smooth fit to the hardscape. Be sure to keep the barrier's double top edge at least 1/2" (13mm) above grade to ensure roots do not grow over the top.

D. Plant the tree(s). The Linear style offers a more expensive rooting growth area, however adverse soil and drainage conditions may exist in the actual planting area. Take steps to ensure healthy growth of the tree at planting. Consult with a local Arborist for planting tips and recommendations.

E. If the tree(s) will be subject to maintenance work such as lawn mowing or weed trimming we strongly recommend the installation of ArborGard® Tree Trunk Protectors which is placed around the base of young trees to protect them from damage by weed trimmers, lawn mowers and small rodents.

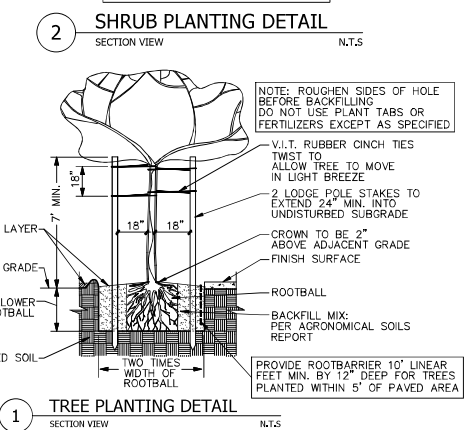
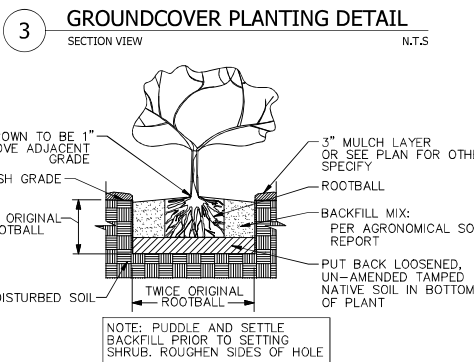
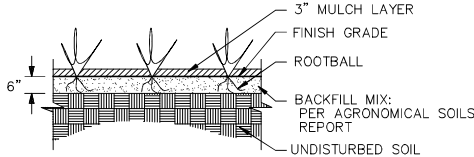
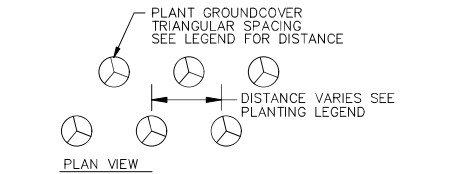
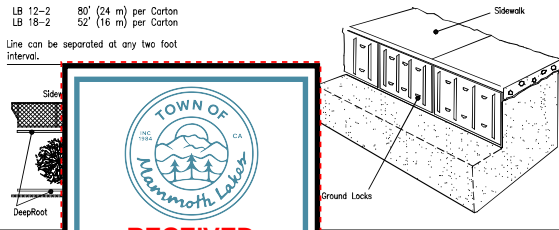
For additional information please consult the 16 page DeepRoot Product Selection and Installation Guidelines.

For information regarding distributors please call: 1 800 ILV ROOT (458.7668). For help with difficult drainage or other difficult installation questions please call DeepRoot Technical Support at: 1 800 ROOT TEK (766.8835).

For a simple formula to determine the quantity of panels required for a Linear application use:
Estimated Diameter of the Tree Canopy at Maturity + 2' (61cm) = Length of Barrier per Side.

As little as one side of the tree may need barrier for root direction as there may be no hardscape elsewhere requiring protection.	For One Side of Tree Expected Tree Canopy at Maturity	Number of Feet of Linear Barrier (LB 12 or LB 18)	Optional Universal Barrier (UB) in number of Panels
Note: Linear Barriers (LB 12-2 and LB 18-2) are packaged in 2' (61cm) long panels with pre-attached flexible joiners ready to pull out of the carton and install in one continuous line of up to:	12' (3.6m) Diameter +2' (61cm) = 14' (4.2m) 18' (5.5m) Diameter +2' (61cm) = 20' (6.1m) 24' (7.3m) Diameter +2' (61cm) = 26' (7.9m)	14' (4.2m) 20' (6.1m) 26' (7.9m)	7 Panels 10 Panels 13 Panels

NOTE: ROOT BARRIERS SHALL BE 12" DEEP MAX. & LINEAR APPLICATION ONLY.



NOTES

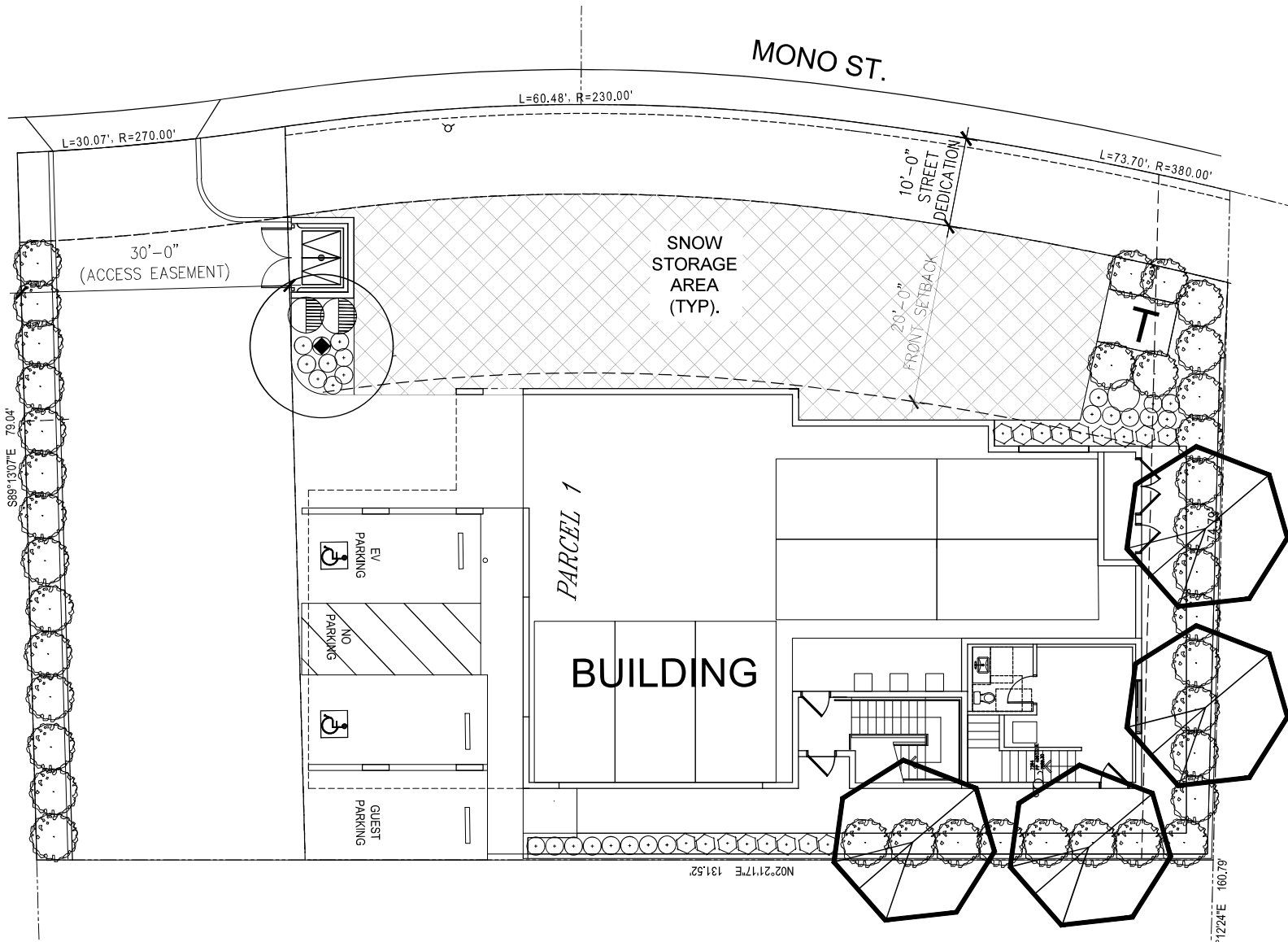
- A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated."
- A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project".
- For soil amendments see 'Planting Notes', #7.

PLANT LEGEND

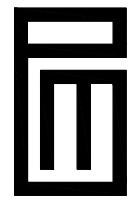
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	REMARKS
TREES						
	Ginkgo Biloba 'Fastigiata'	Maidenhair Tree	24" box	4	L	Standard trunk
	Betula pendula	White Birch	24" box	1	L	Standard trunk
SHRUBS						
	Berberis thunbergii	Japanese Barberry	5 gal	2	L	
	Photinia Fraseri	Red Tip Photinia	5 gal	38	M	
PERENNIALS						
	Sesleria autumnalis	Moor Grass	1 gal	25	L	
	Hemerocallis Hybrids	Daylily	1 gal	36	L	

MULCH INSTALLATION
After all planting and irrigation operations are complete, cover all exposed landscape areas with 3" layer of SPEC Mulch as made by Recycled Wood Products (877-476-9797), or equal

NOTE:
INSTALL ROOT BARRIERS TO ALL PROPOSED TREES PLANTED WITHIN FIVE(5) FEET ALONG ANY HARDSCAPE SURFACE; NOT AROUND THE TREE ROOT BALL, SEE DETAIL SHEET L-4



REVISIONS	BY



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PLANTING PLAN

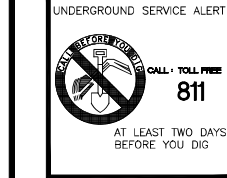
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CHECKED R.S.
DATE 06-18-2025

L-2

OF 4 SHEETS

JOB NO.
24089



NOTE: "I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the planting design plan."

Phil May
Phil May, Landscape Architect
06-18-2025
Date

3. It is the responsibility of the irrigation Contractor to familiarize himself with all grade differences, location of wall, retaining walls, structures and utilities. The Contractor shall repair or replace, at no additional cost to the owner, all items damaged by his work. The Contractor shall coordinate his work with other contractors for the location and installation of pipe sleeves and laterals through walls, under roadways and paving, etc.
2. The Contractor shall not willfully install the irrigation system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences, or differences in the area dimension exist that might not have been addressed in the design of the irrigation system. Such obstructions or differences shall be brought to the attention of the Owner's authorized representative. In the event this notification is not performed, the Contractor shall assume full responsibility for any necessary alterations to the work.
3. The Contractor shall obtain, coordinate, and pay for any and all inspections as required.
4. The Contractor shall be responsible and liable for any encroachment into adjacent property, R.O.W.'s easements setbacks or any other legal property restrictions either marked or unmarked.
5. The irrigation system design is based on a minimum operation pressure of 40 PSI and a maximum flow demand of 15.0 GPM. The Contractor shall verify water pressure prior to construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the irrigation point of connection to the Landscape Architect.
6. This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The Contractor shall locate all valves in shrub or groundcover areas.
7. Treaching within the dripline of large existing trees shall be performed by hand, and with extreme care not to sever roots 1-1/2" in diameter and larger. Where roots 1-1/2" in diameter and larger are encountered, the Contractor shall tunnel under said roots. Exposed roots that have been tunneled under shall be wrapped in wet burlap and kept moist while the trench is open.
8. All purple Main line piping, lateral line piping, and control wires under paving shall be installed in Purple Schedule 40 PVC sleeves at a minimum depth of 18". Sleeves shall be installed before paving is in place. All sleeve size shall be a minimum of twice the diameter of the pipe to be sleeved. Control wire sleeves shall be of sufficient size for the required number of wires under paving.
9. Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
10. The Contractor shall flush and adjust all sprinkler heads, drip tubing, and valves for optimum coverage with minimal misting and/or over spray onto walks, streets, walls, etc. Substitution of nozzle pattern or radius as required to achieve optimum coverage is responsibility of contractor.
11. All irrigation equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
12. Drip tubing shall be installed in parallel rows (wherever possible) 18" apart on top the finish grade (unless stated otherwise on plan OR irrigation legend) and covered with 3" of specify groundcover material—see planting plan. Emitter spacing of adjacent rows staggered. Tubing shall be firmly staked in place with U-staples at 5' on center (24" on center around tight curves). In steeply sloped areas, install tubing rows perpendicular to the direction of the slope. Install flush valves at the circuit's major low points (verify in field). Install flush valves in 6" valve boxes. Drip irrigation tubing shall be connected to Schedule 40 PVC supply line and exhaust manifolds where indicated on the plans.
13. All remote control valves, gate valves, flush valves, and pressure relief valves shall be installed in suitable valve boxes as shown in details, complete with locking covers. All shall be Carson, Amtec, or approved equal, and shall be marked "G.V." for gate valves, "R.C.V." for remote control valves, etc. Provide expansion coils at each wire connection in valve box as per details.
14. Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes. Final location of the backflow preventer and automatic controller shall be approved by the Owner.
15. 120 VAC electrical power source at controller location shall be provided by Electrician or General Contractor. The Contractor shall make the final connection from the electrical source to the controller.
16. Pressure test Mainline at 150 PSI per three(3) hours constant.
17. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARD UNIFORM BUILDING CODE.



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1. Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
2. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
3. An irrigation audit report shall be completed at the time of final inspection.
4. At the time of final inspection, the permit applicant must provide the owner property with a certificate of completion of installation, irrigation schedule of landscape and irrigation maintenance."
5. "Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 square feet or permeable area shall be incorporated to a depth of six inches into the soil."

NOTE:
THIS DESIGN IS DIAGRAMMATIC
FOR CLARIFICATION. THE LOCATION
OF MAINLINES, LATERALS, VALVES,
AND OTHER IRRIGATION COMPONENTS
SHALL BE LOCATED INSIDE PLANTER
AREAS AS MUCH AS POSSIBLE.
VERIFY WITH GENERAL CONTRACTOR.

Valve No.	Hydrozone type-high, med., low	Irrigation type (drip, low flow, etc.)	Mfr rated flow GPH	Application time period (minutes/day)	Total gallons = (GPH) x (1hr/60min) x (#minutes)	Days per week Summer	Days per week Winter
1	LOW	DRIp	0.5	30	0.25	7	4
2	MEDIUM	BUBBLER	90	15	22.5	7	4

Valve No.	Hydrozone type-high, med., low	Irrigation type (drip, low flow, etc.)	Mfr rated flow GPH	Application time period (minutes/day)	Total gallons = (GPH) x (1hr/60min x #minutes)	Days per week Summer	Days per week Winter
1	LOW	DRIP	0,5	30	0,25	4	2
2	MEDIUM	BUBBLER	90	15	22,5	4	2

SLEEVES ARE SHOWN DIAGRAMMATICALLY. SLEEVES TO BE INSTALLED WHERE SHOWN AS WELL AS AT ANY AREA WHERE LATERAL OR MAINLINE PIPE CROSSES HARDSCAPE. SLEEVES UNDER WALKWAYS ARE TO BE COORDINATED BETWEEN LANDSCAPE CONTRACTOR AND CONCRETE CONTRACTOR PRIOR TO INSTALLATION.

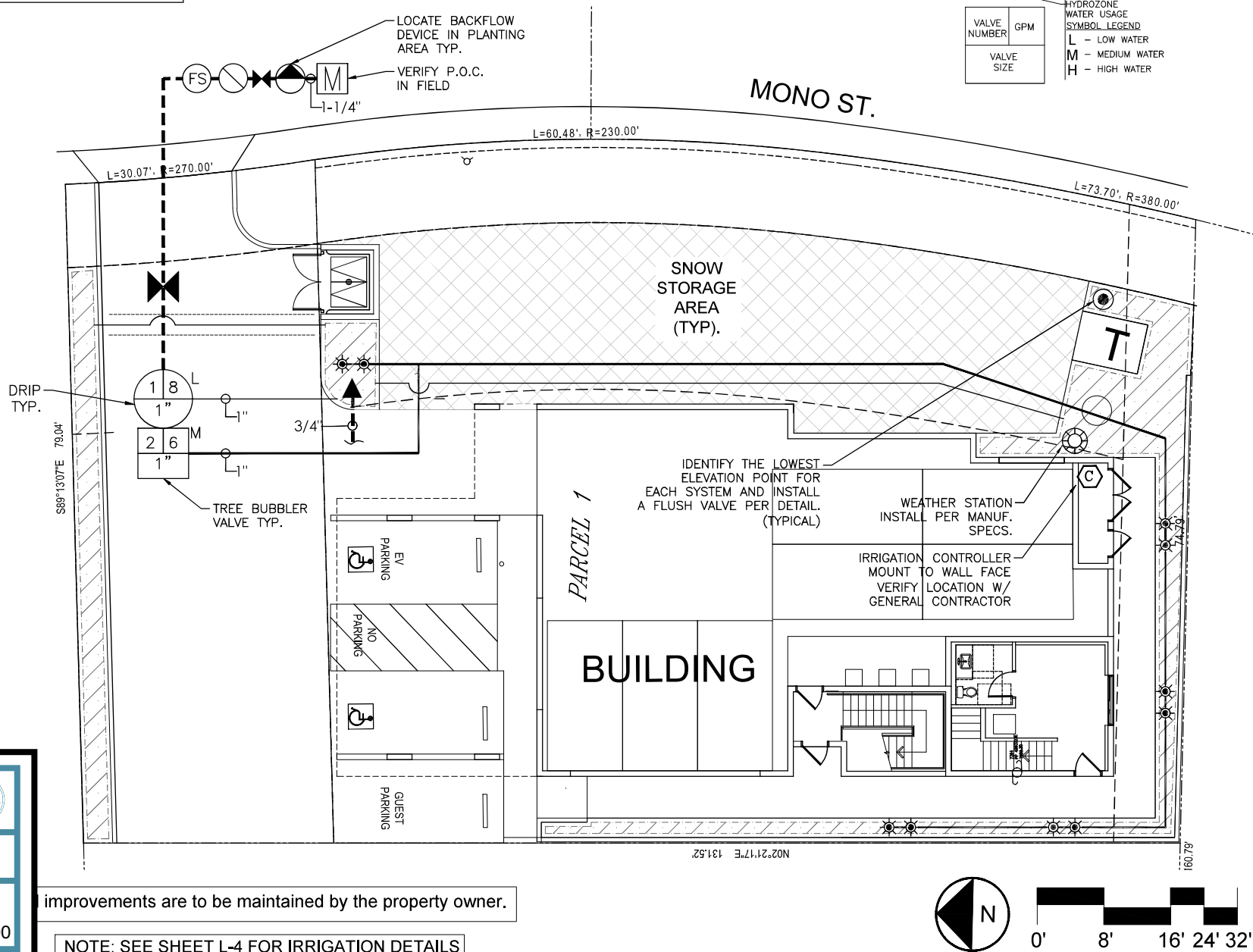
MAINLINE AND LATERAL LINES ARE SHOWN
DIAGRAMMATICALLY ON PLAN FOR CLARITY. INSTALL
WITHIN ADJACENT PLANTER WITH THE MINIMUM
QUANTITY OF FITTINGS AND CHANGE OF DIRECTION.
COORDINATE WITH OTHER TRADES TO AVOID CONFLICTS
WITH UTILITIES AND PAVING.

SYMBOL	MFG	MODEL/DESCRIPTION	PATN.	GPM	PSI	RAT	DET
	RAINBIRD	1400 SERIES BUBBLER MODEL 1402, 12" RISER	FULL	1.0	30	--	B
	NETAFIM	MANUAL FLUSH VALVE IN 6" VALVE BOX MODEL #TISOV					C
	HUNTER	1" QUICK COUPLER, MODEL: HQ5-LRC INSTALL IN 6" VALVE BOX					E
	HUNTER	WEATHER BASED CONTROLLER: MODEL: PRO-C VERIFY LOCATION W/ GENERAL CONTRACTOR(G.C.) NOTED: CONTROLLER MUST BE INSTALL ON A DEDICATED CIRCUIT AND GROUNDED PER LOCAL CODES.					F
	HUNTER	MODEL: SOLAR--SYN--SEN, MOUNT TO ROOF EAVE PER MANUFACTURE SPECS. VERIFY LOCATION W/ G.C.					F
	ANY APPROVED	PVC SCHEDULE 40 SLEEVING, INSTALL UNDERGROUND (AT LEAST TWICE LINE SIZE)					G
	ANY APPROVED	PVC SCHEDULE 40 LATERAL LINE SIZE AS INDICATED ON PLAN					T
	ANY APPROVED	PVC SCHEDULE 40 MAIN LINE, SIZE AS INDICATED ON PLAN NOTE: USE CLASS 315 PVC FOR LINES 2" AND LARGER					T
	NETAFIM	TECHLINE CV, TLV6-12 LINES LAYOUT @ 18" O.C.	0.60 GPH	40			H
	IRRITROL	700 ULTRA FLOW SERIES AUTOMATIC INLINE VALVE SIZE AS INDICATED ON PLAN					I
	NETAFIM	CONTROL ZONE VALVE KIT MODEL: UCZ28010075-LP, FLOW RATE 0.25-4.4 GPM MODEL: UCZ10075-HFHP, FLOW RATE 1.5-17.6 GPM					J
	NIBCO	BRASS BALL VALVE, MODEL: T-FF60GA LINE SIZE					K
	ZURN WILKINS	REDUCED PRESSURE ASSEMBLY, MODEL 975XL 1.25" SIZE WITH 1" TYPE STRAINER BRONZE WITH 20 MESH SS. PROVIDE METAL ENCLOSURE BY V.I.T. PRODUCTS. MODEL: SB8C-45CR, ASSEMBLY AND ENCLOSURE SHALL BE PAINTED FOREST GREEN.					L
	HUNTER	BRASS INLINE VALVE, MODEL: IBV-151G-FPS, SIZE: 1.5" NORMALLY OPEN, USE 10" VALVE BOX PERMANENTLY BRANDED FOR IDENTIFICATION AS MASTER VALVE.					M
	HUNTER	FLOW-CLICK SENSOR, SIZE: 1.5"- IN VALVE BOX INSTALL PER MANUFACTURE SPECIFICATIONS. SET AT 5-FPS MAXIMUM FOR SHUT-OFF AFTER 2-MINUTES					S

VALVE NUMBER	GPM
VALVE SIZE	

SYMBOL LEGEND

L - LOW WATER
M - MEDIUM WATER
H - HIGH WATER



improvements are to be maintained by the property owner.

NOTE: SEE SHEET L-4 FOR IRRIGATION DETAILS

NOT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF PHIL WYLANDSCAPE ARCHITECTURE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL

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IRRIGATION PLAN

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DRAWN

R.S.
CHECKE

R.S.

DATE
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0-10-2023

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4 SH

JOB NO.

24089



TOWN OF MAMMOTH LAKES

PLANNING APPROVAL

Conditions of Approval: ☒ YES ☐ NO

Date 8/13/25 Approved By gmontecallo

Entitlement Document # UPA 24-003, DR 24-00

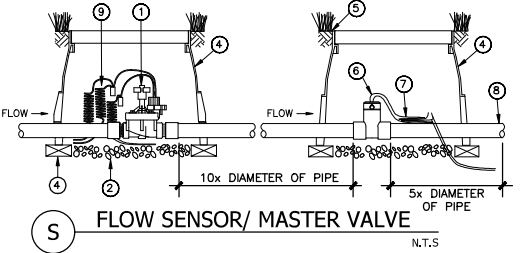
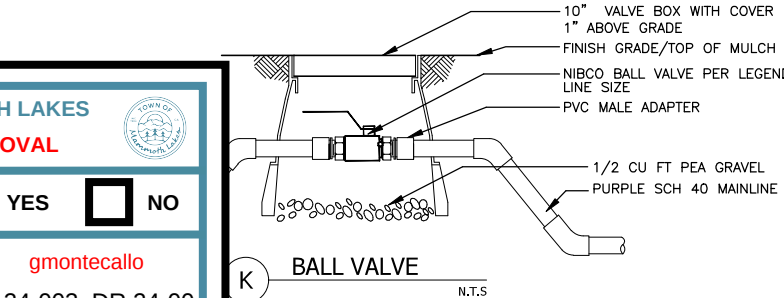
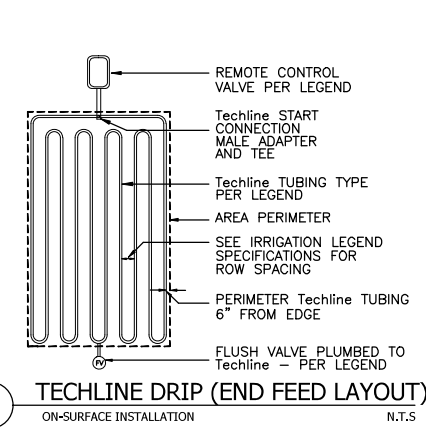
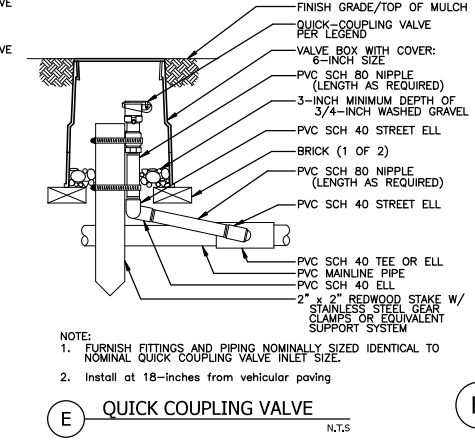
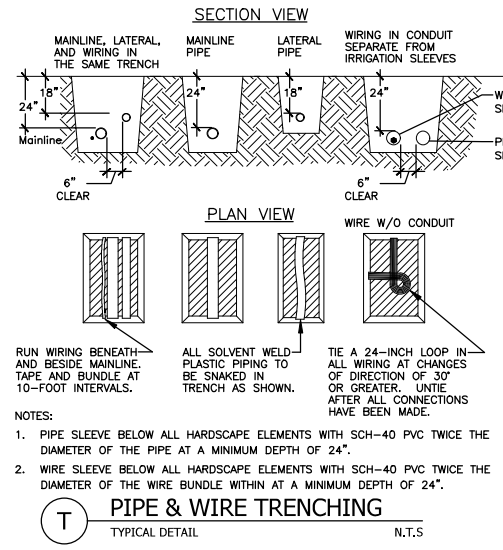
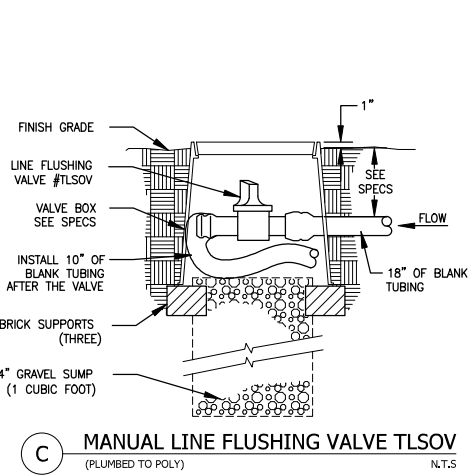
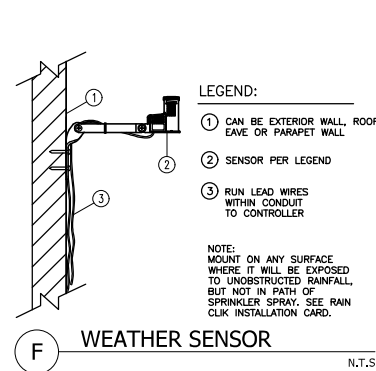
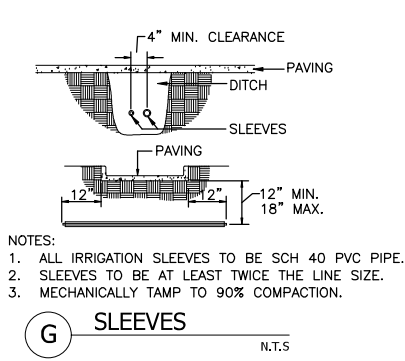
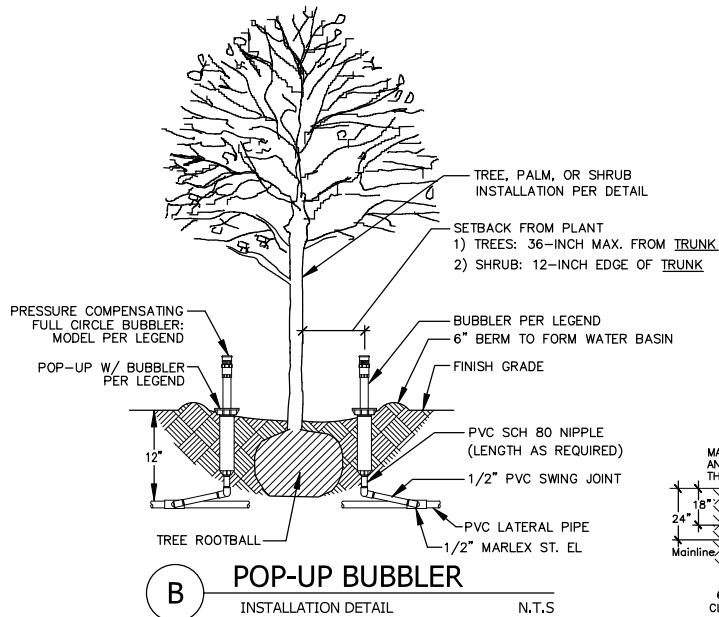
TOWN OF MAMMOTH LAKES

PLANNING APPROVAL

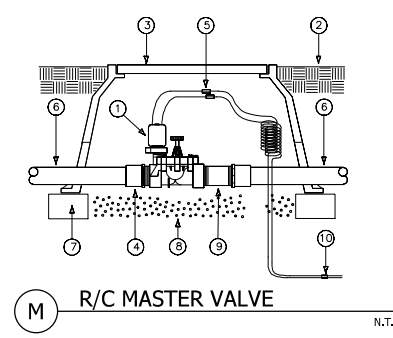
Conditions of Approval: ☒ YES ☐ NO

Date 8/13/25 Approved By gmontecallo

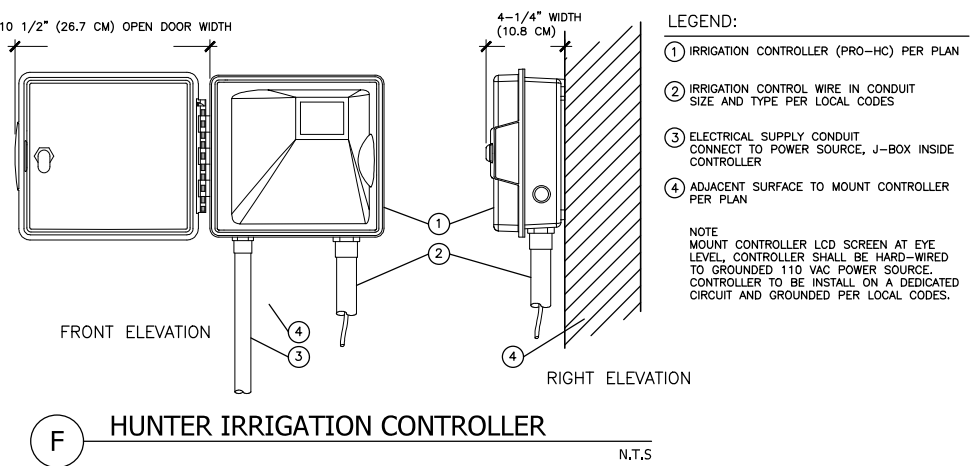
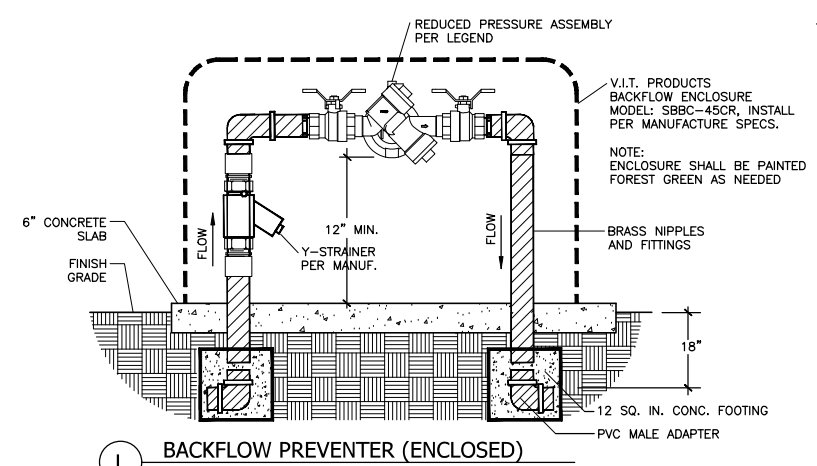
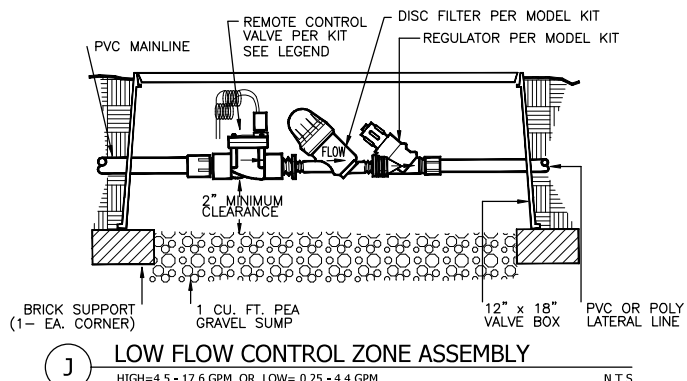
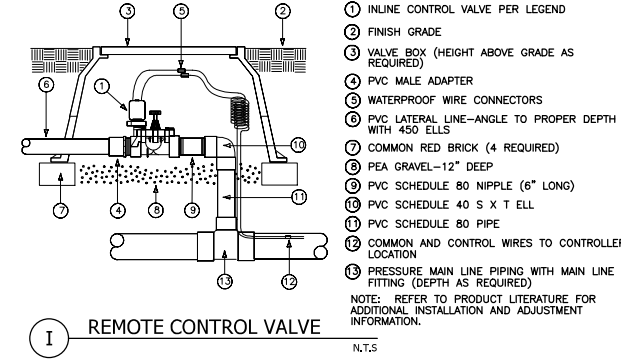
Entitlement Document # UPA 24-003, DR 24-00



- 1 MASTER VALVE PER LEGEND
- 2 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 3 BRICK (1 OF 4)
- 4 VALVE BOX WITH COVER - SIZE AS REQUIRED
- 5 FINISH GRADE
- 6 FLOW SENSOR PER LEGEND
- 7 LENGTH OF COILED PE-CABLE AS REQUIRED
- 8 FIRST FITTING
- 9 36-INCH LENGTH OF COILED WIRE TO SATELLITE CONTROLLER SPARE STATION



- 1 IRRITROL ELECTRIC CONTROL VALVE
 - 2 FINISH GRADE
 - 3 VALVE BOX (HEIGHT ABOVE GRADE AS REQUIRED)
 - 4 PVC MALE ADAPTER
 - 5 WATERPROOF WIRE CONNECTORS
 - 6 PRESSURE MAIN LINE PIPING WITH MAIN LINE FITTING (DEPTH AS REQUIRED)
 - 7 COMMON RED BRICK (4 REQUIRED)
 - 8 PEA GRAVEL-12 inch DEEP
 - 9 PVC SCHEDULE 80 NIPPLE (6 inch LONG)
 - 10 COMMON AND CONTROL WIRES TO CONTROLLER LOCATION
- NOTE: REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION AND ADJUSTMENT INFORMATION.



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