

PROJECT TEAM

OWNER	TERRABLANCA GROUP LLC 3946 HAINES AVE, UNIT B 619.665.8454/
TELEPHONE/FAX: CONTACT:	CHRIS BORD cbord@roomandbord-arch.com
ARCHITECT	ROOM & BORD ARCHITECTURE INC 3946 HAINES AVE, UNIT B 619.665.8454/
TELEPHONE/FAX: CONTACT:	CHRIS BORD cbord@roomandbord-arch.com
CIVIL/SURVEY	TRIAD HOMES ASSOCIATION 873 N. MAIN STREET, SUITE 150 BISHOP, CA 93514 619.665.8454/ TOM PLATZ tplatz@thainc.com

PROJECT INFORMATION

ADDRESS:	3789 Main St Mammoth Lakes, CA 93546
STRUCTURES/UNITS:	4/12
AREA OF SITE:	.96 ACRES
SITE COVERAGE:	.978 ACRES
NUMBER OF STORIES:	3
OCCUPANCY TYPE:	EXISTING VACANT/PROPOSED MULTI FAMILY
ZONE:	MLR
ASSESSOR'S PARCEL NUMBER:	033-110-003
FAR:	1.22

BUILDING 1 GROUND FLOOR	3652 SF
BUILDING 1 2ND FLOOR	3507 SF
BUILDING 1 3RD FLOOR	3606 SF
BUILDING 1 TOTAL SF	10,765 SF

BUILDING 2 GROUND FLOOR	3602 SF
BUILDING 2 2ND FLOOR	3507 SF
BUILDING 2 3RD FLOOR	3606 SF
BUILDING 2 TOTAL SF	10,715 SF

BUILDING 3 GROUND FLOOR	3458 SF
BUILDING 3 2ND FLOOR	3507 SF
BUILDING 3 3RD FLOOR	3606 SF
BUILDING 3 TOTAL SF	10,571 SF

BUILDING 4 GROUND FLOOR	3458 SF
BUILDING 4 2ND FLOOR	3507 SF
BUILDING 4 3RD FLOOR	3606 SF
BUILDING 4 TOTAL SF	10,571 SF

SCOPE OF WORK

- 1
- Subdividing and constructing improvements thereon including Condominiums consisting of a total of four Buildings each with three Units for a total of 12 Units and other site improvements in accordance with governing jurisdiction
- 2
- All units have 3 Bedrooms, 4-1/2 bathrooms, Multi-purpose room, living room, family room, main floor patio, master bedroom patio, 2 car garage, laundry room, and pantry

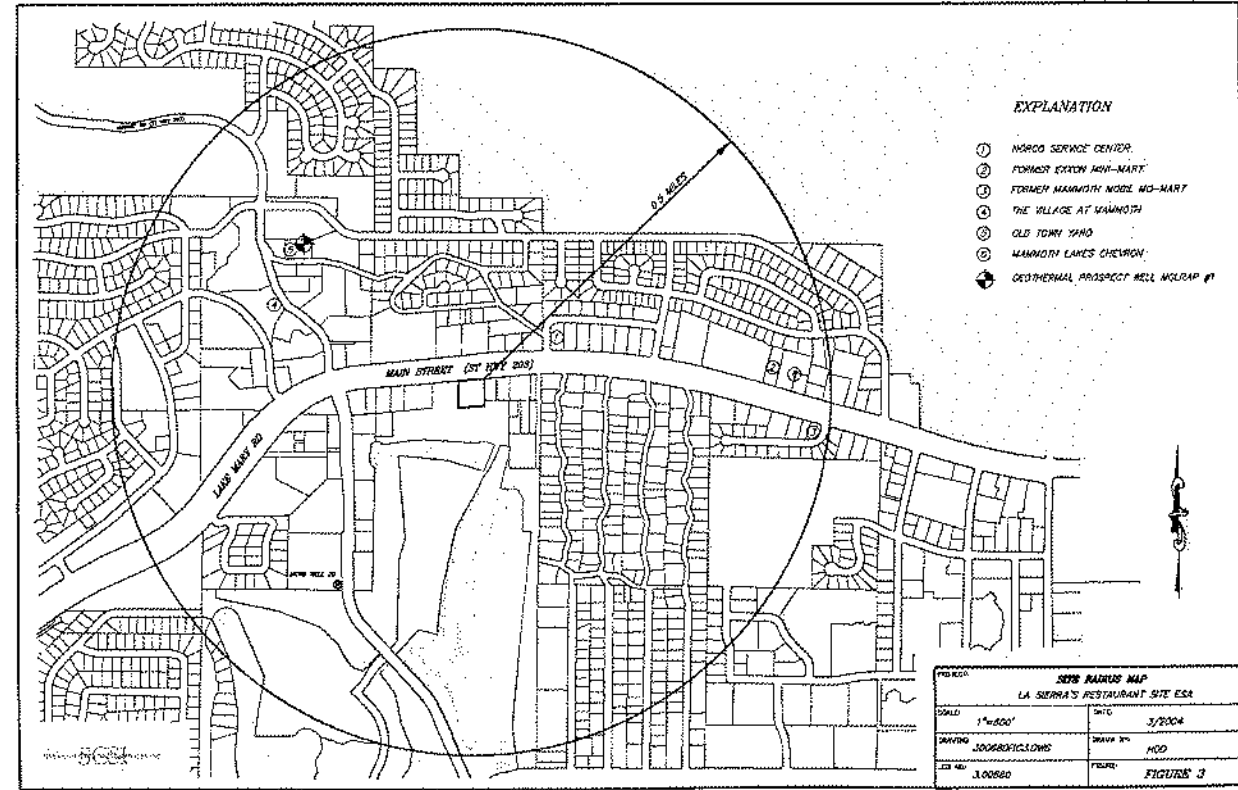
TERRABLANCA
ENTITLEMENT PACKAGE
3789 MAIN STREET
MAMMOTH LAKES, CA 93546



DRAWING INDEX

Sheet Number	Sheet Name
01 -Architecture	
A000	COVER
A100	SITE PLAN
A101	SITE LIGHTING
A102	SITE PLANTING
A200	BLDG 1 - FLOOR PLANS
A201	BLDG 2 - FLOOR PLANS
A202	BLDG 3 & 4 - FLOOR PLAN
A250	ROOF PLAN TYP.
A300	BLDG 1 - ELEVATIONS
A500	EXTERIOR ELEVATIONS
A501	EXTERIOR ELEVATIONS
A900	RENDERINGS
A901	RENDERINGS
02 -Civil	
C1	COVER SHEET
C2	CONCEPTUAL SITE GRADING / DRAINAGE
C3	CONCEPTUAL OFFSITE GRADING PLAN
C4	CONCEPTUAL SITE UTILITIES
C5	SITE SECTIONS
C6	EROSION CONTROL PLAN
TTM	TENTATIVE TRACT MAP

VICINITY MAP



ARCHITECT: CHRIS BORD

TERRA BLANCA

3946 HAINES STREET
UNIT B
SAN DIEGO CA 92109

SIGNATURES:

3789 MAIN
3789 Main St
Mammoth Lakes, CA 93546

OWNER:

TERRA BLANCA

PROJECT STATUS:

ENTITLEMENT

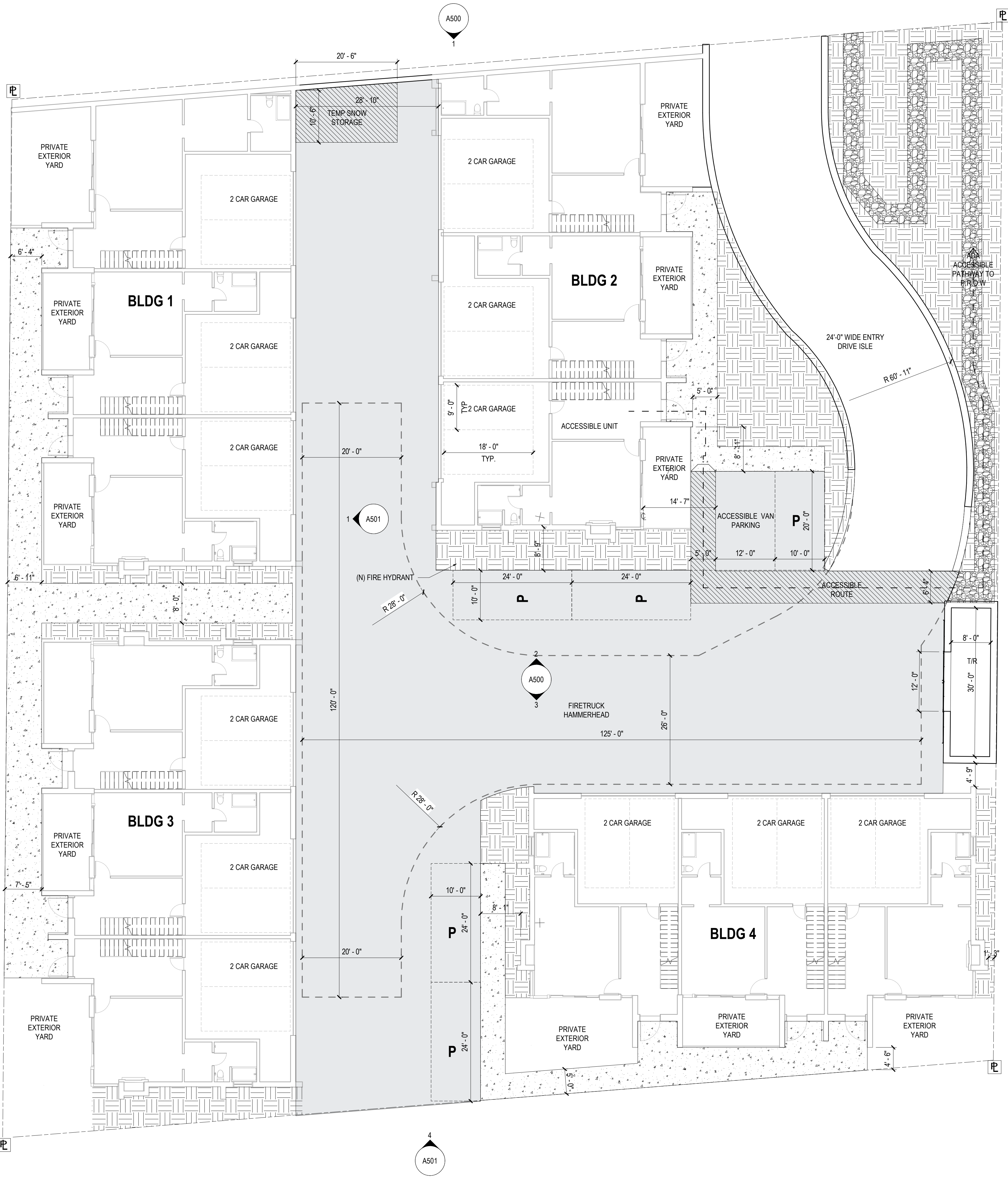
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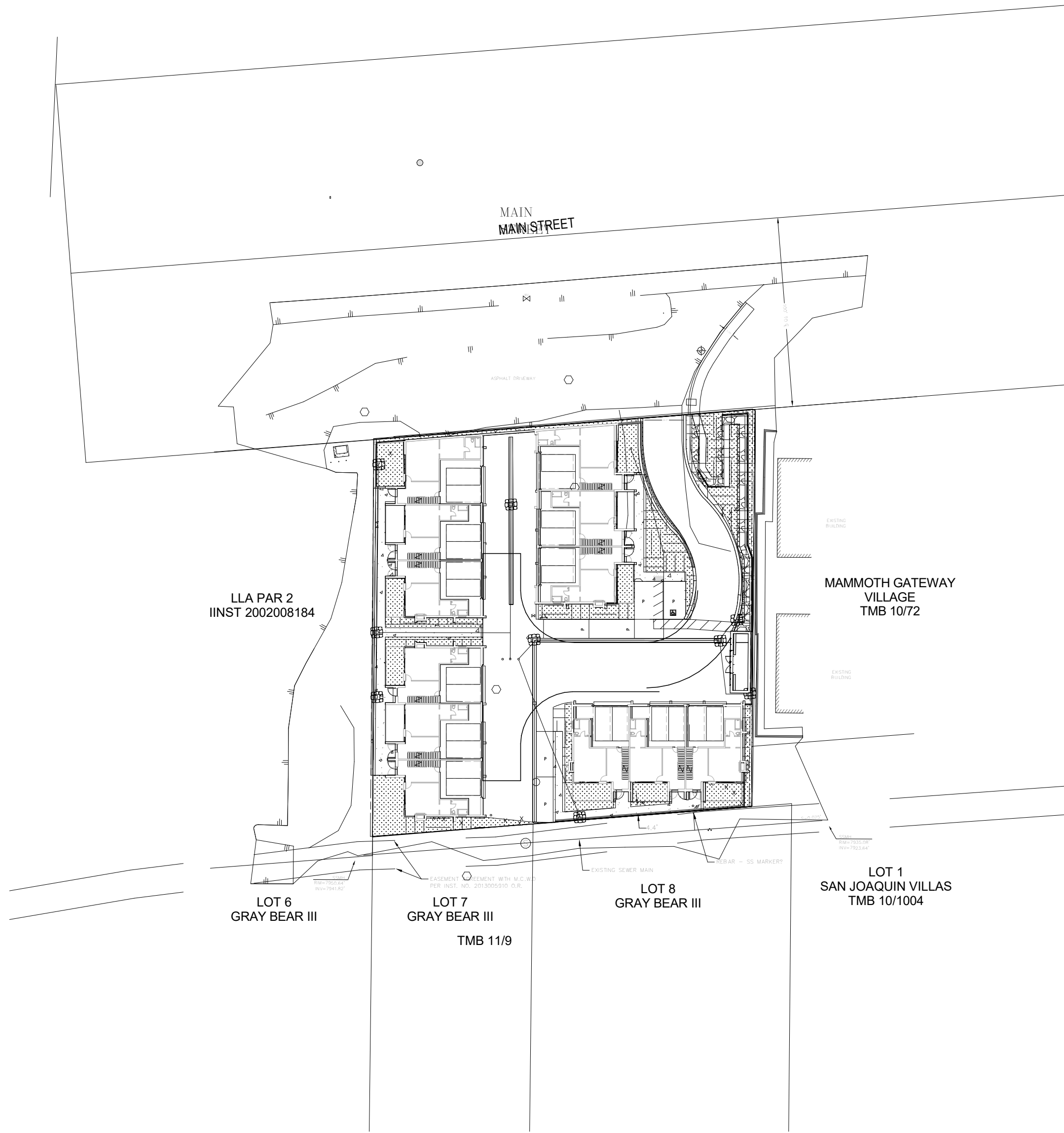
COVER

SHEET NUMBER:

A000



- MULCHED LANDSCAPED AREA, NATURAL GROWTH
- CONCRETE PEDESTRIAN WALK
- EXTERIOR PAVER PEDESTRIAN PATHWAY
- PROPERTY LINE
- TRASH RECYCLING ENCLOSURE



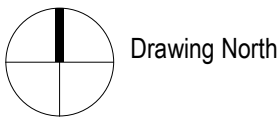
2 KEY SITE PLAN

SCALE: 1" = 50'-0"

ARCHITECT: CHRIS BORD

TERRA BLANCA

3946 HAINES STREET
UNIT B
SAN DIEGO CA 92109



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DATE:

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A100

- MULCHED LANDSCAPED AREA, NATURAL GROWTH
- CONCRETE PEDESTRIAN WALK
- EXTERIOR PAVEMENT PEDESTRIAN PATHWAY
- PROPERTY LINE
- TRASH RECYCLING ENCLOSURE



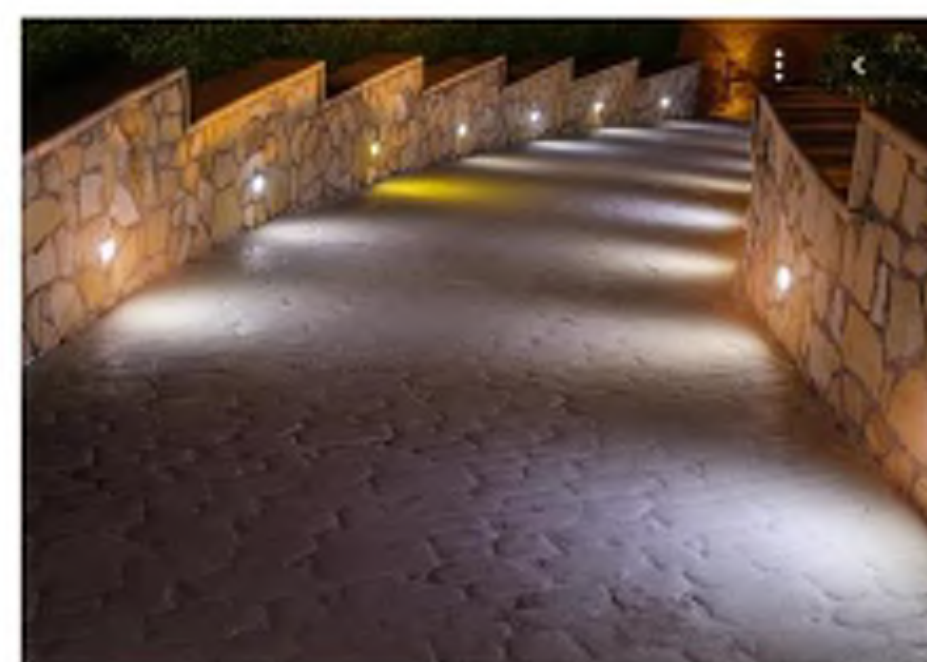
Private yard to have large pavers with stone in between and tall shrubs at the fence line what's shown here



Pedestrian Walkways to have bollard lighting that do not produce light pollution as seen in image



Site lighting to be implemented as light poles where indicate on plan for safety and to reduce uplighting effects from site lighting



Vehicular Pathway lighting at entry to be integrated into site wall

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UNIT B
SAN DIEGO CA 92109

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PROJECT STATUS:

ENTITLEMENT

DATE:

SHEET TITLE:

SITE
LIGHTING

SHEET NUMBER:

A101

10/20/2022 6:53:17 PM

- MULCHED LANDSCAPED AREA, NATURAL GROWTH
- CONCRETE PEDESTRIAN WALK
- EXTERIOR PAVEMENT PEDESTRIAN PATHWAY
- PROPERTY LINE
- TRASH RECYCLING ENCLOSURE
- NEW TREE PER ARBORIST SPECIFICATION



Private yard to have large pavers with stone in between and tall shrubs at the fence line what's shown here

- Native ground cover selected from species list
- Native grasses selected from species list

PROPOSED NATURAL GROUND COVERS (NATIVE SPECIES LIST)

GROUND COVERS

BEARBERRY, KINNIKINNICK
SERBIAN BELLFLOWER
SNOW-IN-SUMMER
PURPLE-LEAF WINTER CREEPER
SWEET WOODRUFF
DAYLILY
CINQUEFOIL, spring
CREEPING JUNIPER
TAM JUNIPER
VIRGINIA CREEPER
MOSS PINK
STONECROP
WOOLLY THYME
WOOLLY SPEEDWELL

(*Arctostaphylos uva-ursi*)
(*Campanula poscharskyana*)
(*Cerastium tomentosum*)
(*Euonymus fortunei 'Colorata'*)
(*Galium odoratum*)
(*Hemerocallis*)
(*Potentilla tabernaemontani*)
(*Juniperus horizontalis*) (*)
(*Juniperus sabina 'Tamariscifolia'*) (*)
(*Parthenocissus*)
(*Phlox subulata*)
(*Sedum, spp.*)
(*Thymus pseudolanuginosus*)
(*Veronica incana*)

GRASSES

INDIAN RICE GRASS
NEEDLEGRASS
NEEDLE AND THREAD GRASS
GREAT BASIN WILD RYE
CREEPING WILD RYE
ALKALI SACATON

(*Achnatherum hymenoides*) (N)
(*Achnatherum spp.*) (N)
(*Hesperostipa comata*) (N)
(*Leymus cinereus*) (N)
(*Leymus triticoides*) (N)
(*Sporobolus airoides*) (N)

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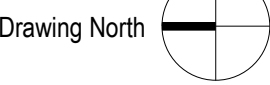
SHEET TITLE:

SITE
PLANTING

SHEET NUMBER:

A102

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SIGNATURES:

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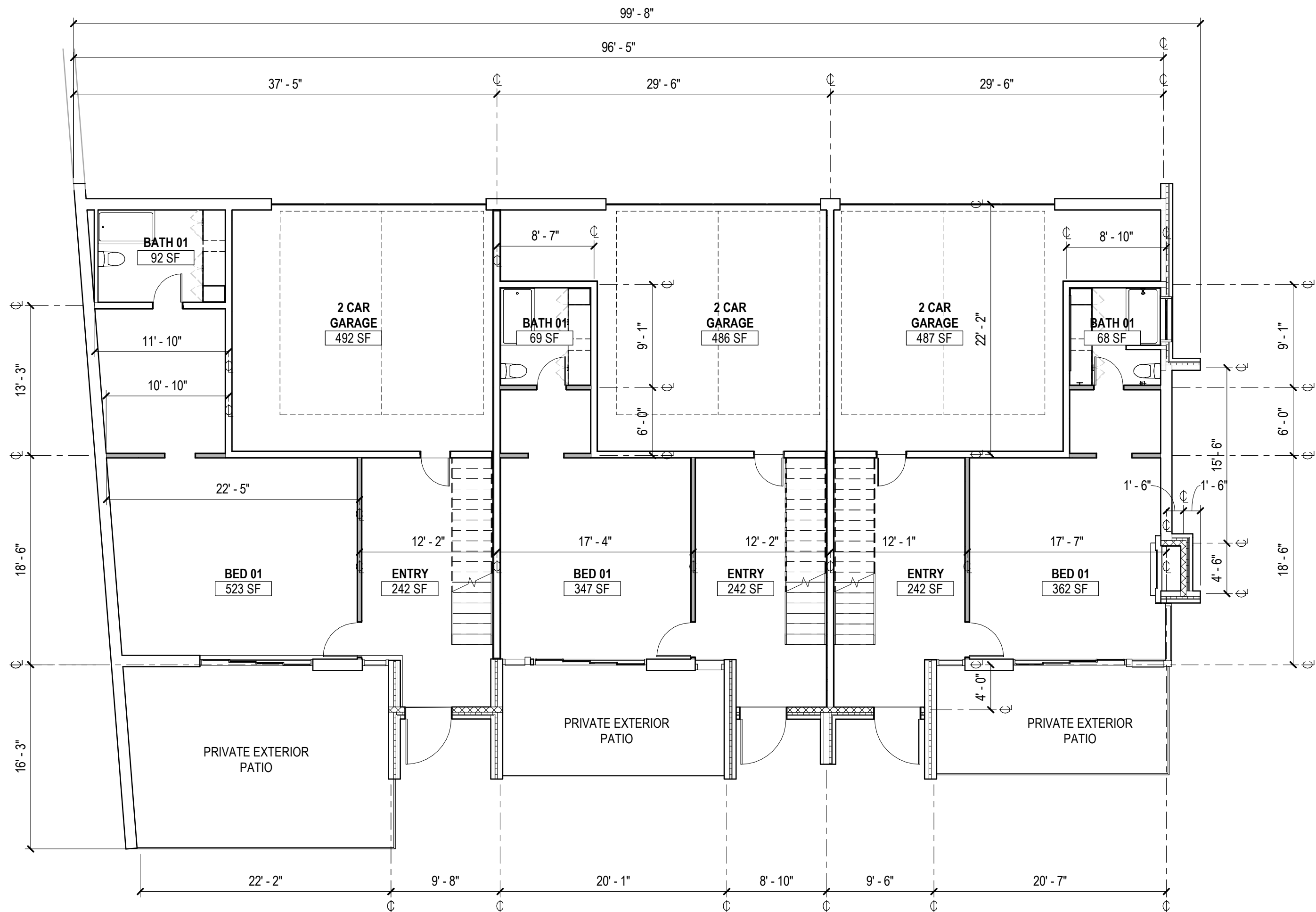
SHEET TITLE:

BLDG 1 -
FLOOR
PLANS

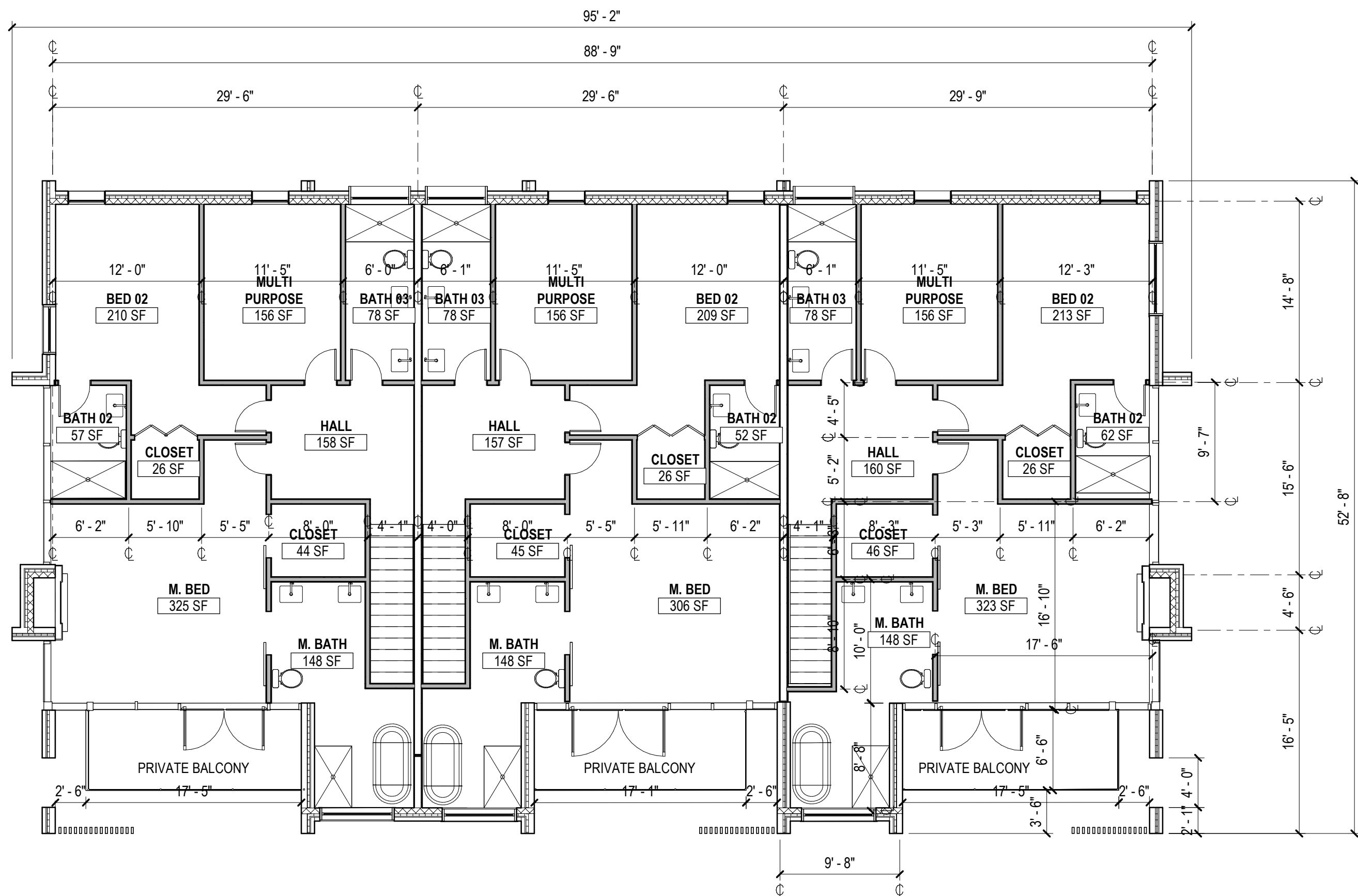
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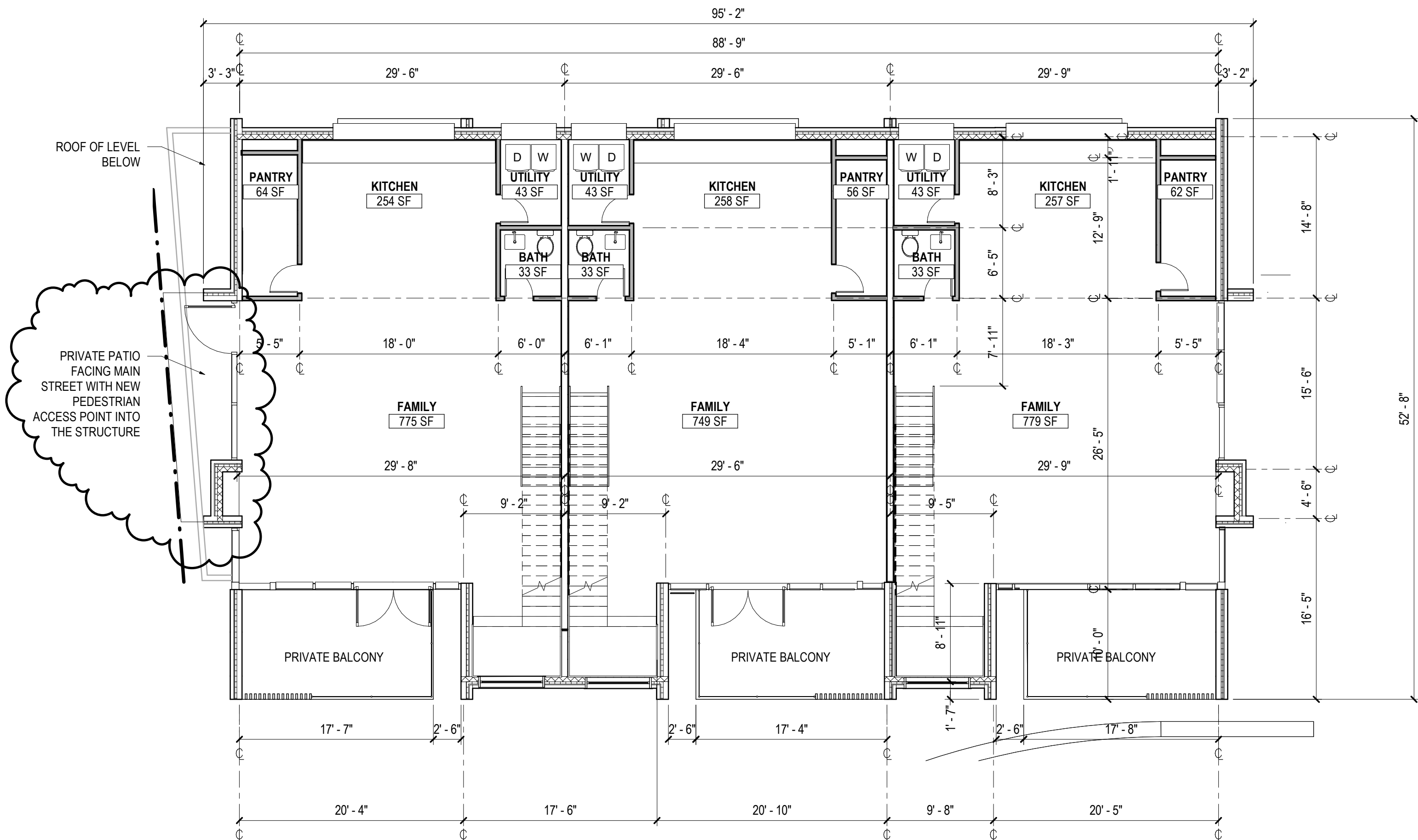
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01 BUILDING 1 - LEVEL 01
SCALE: 1/8" = 1'-0"



03 BUILDING 1 - LEVEL 03
SCALE: 1/8" = 1'-0"



02 BUILDING 1 - LEVEL 02
SCALE: 1/8" = 1'-0"



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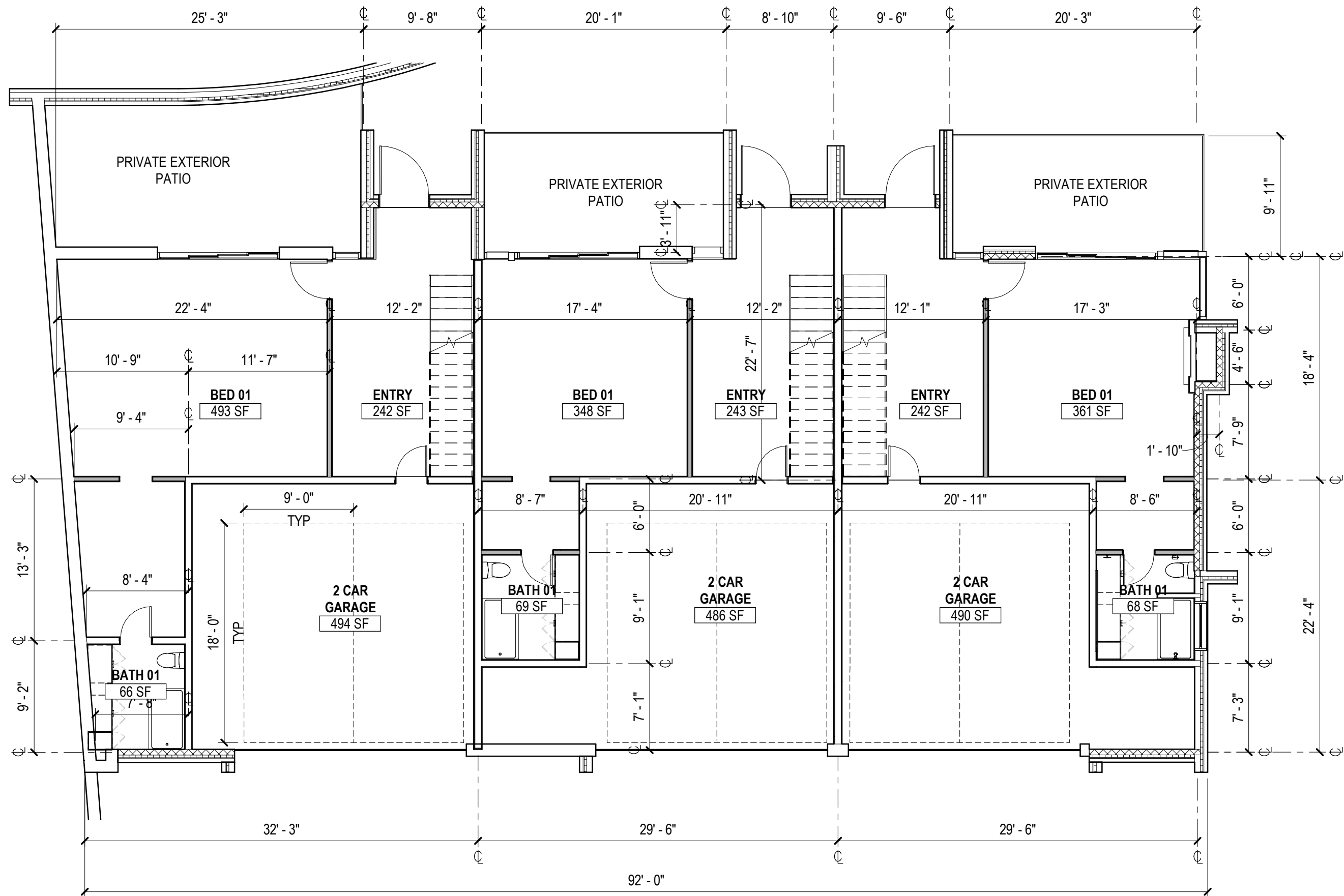
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BLDG 2 -
FLOOR
PLANS

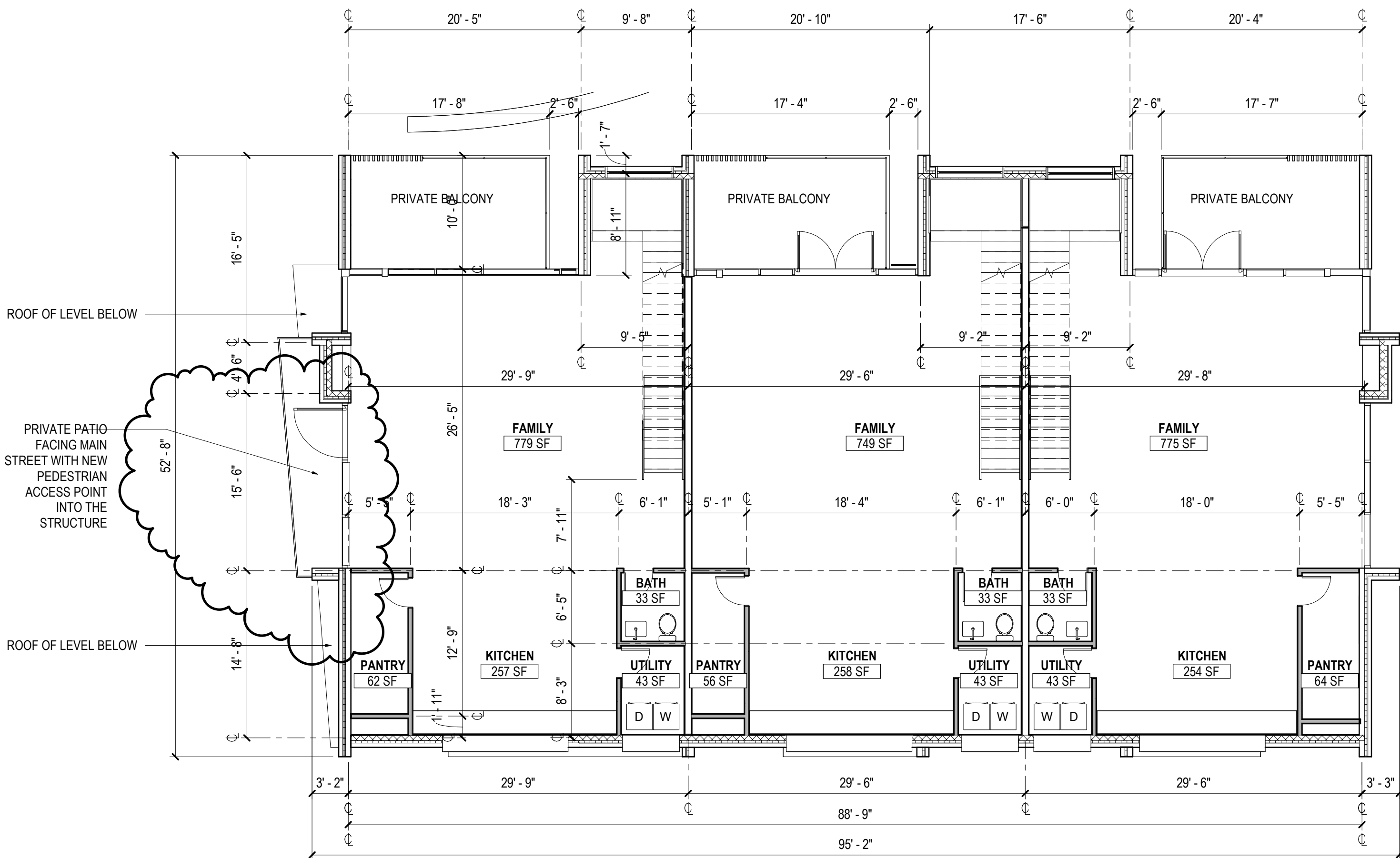
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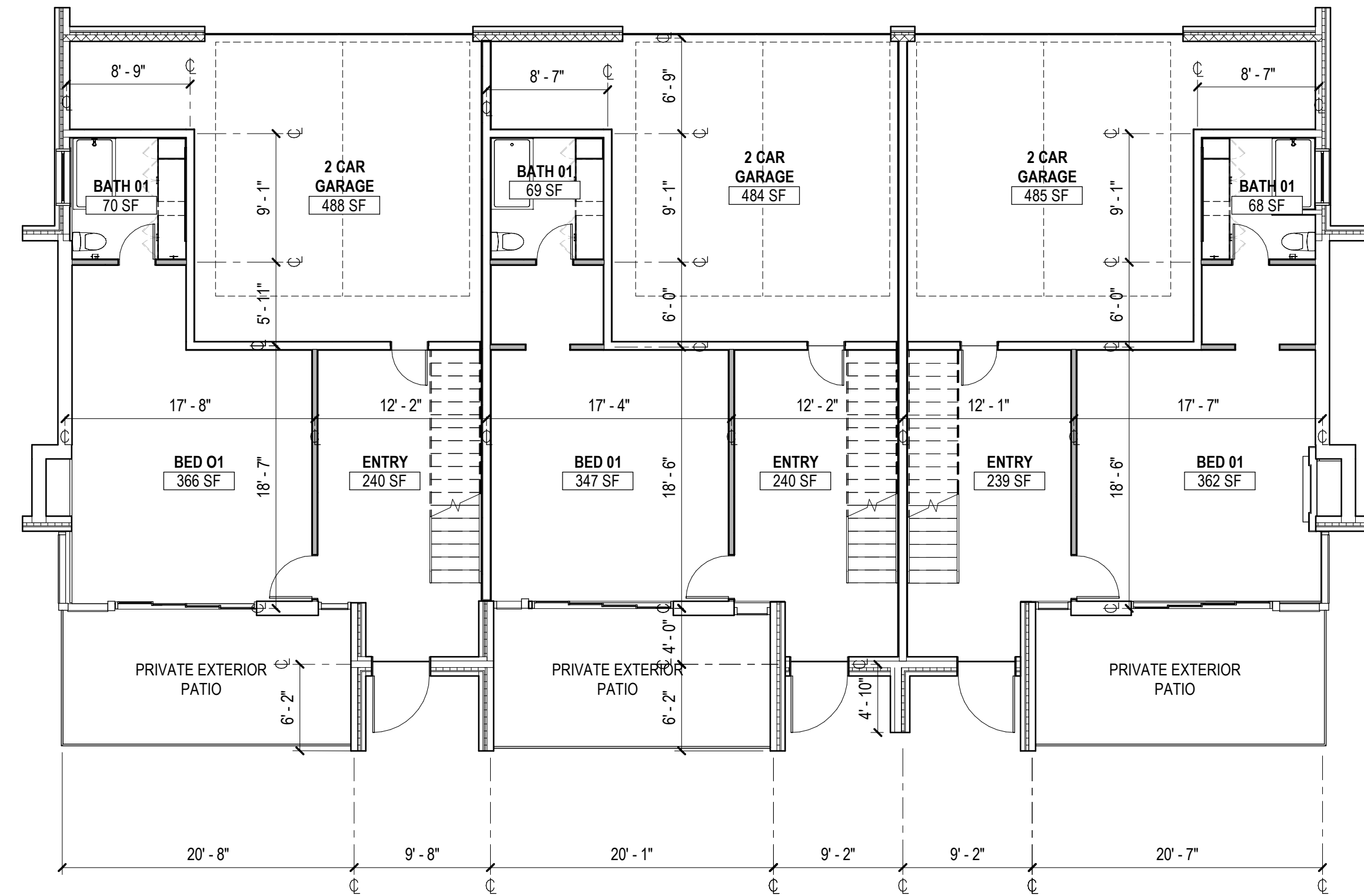
01 BUILDING 2 - LEVEL 01
SCALE: 1/8" = 1'-0"



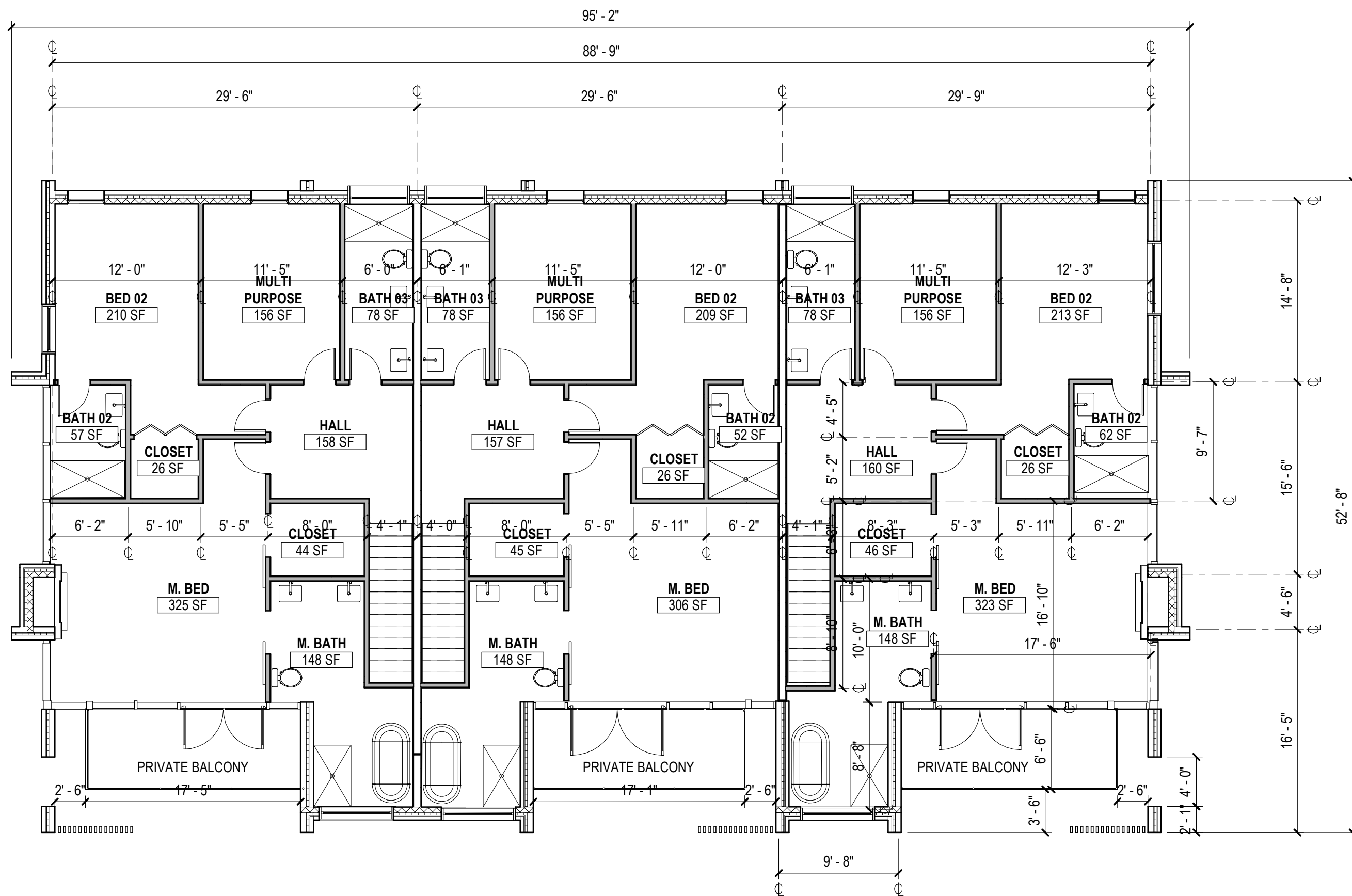
2 BUILDING 2 - LEVEL 02
SCALE: 1/8" = 1'-0"



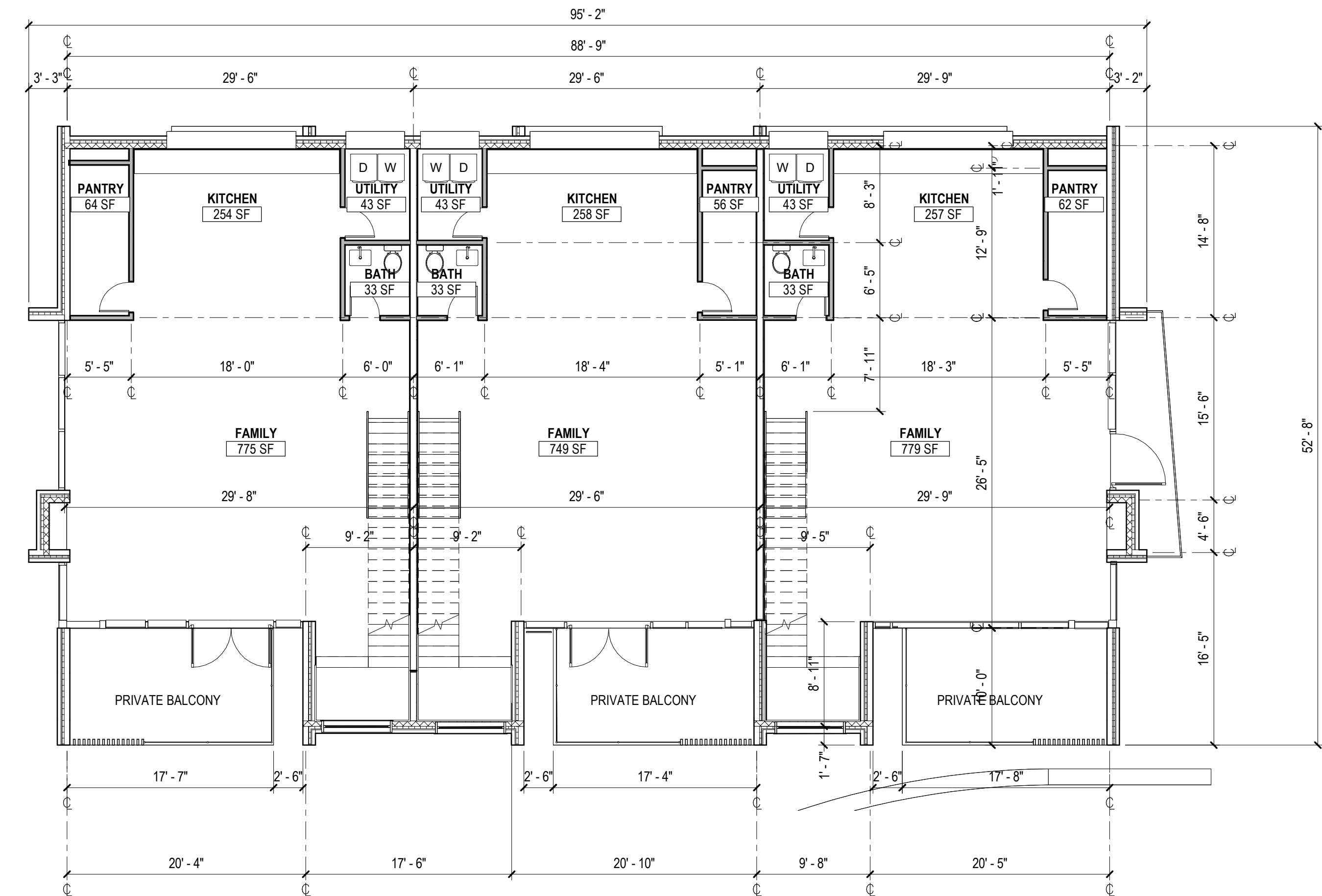
3 BUILDING 2 - LEVEL 03
SCALE: 1/8" = 1'-0"



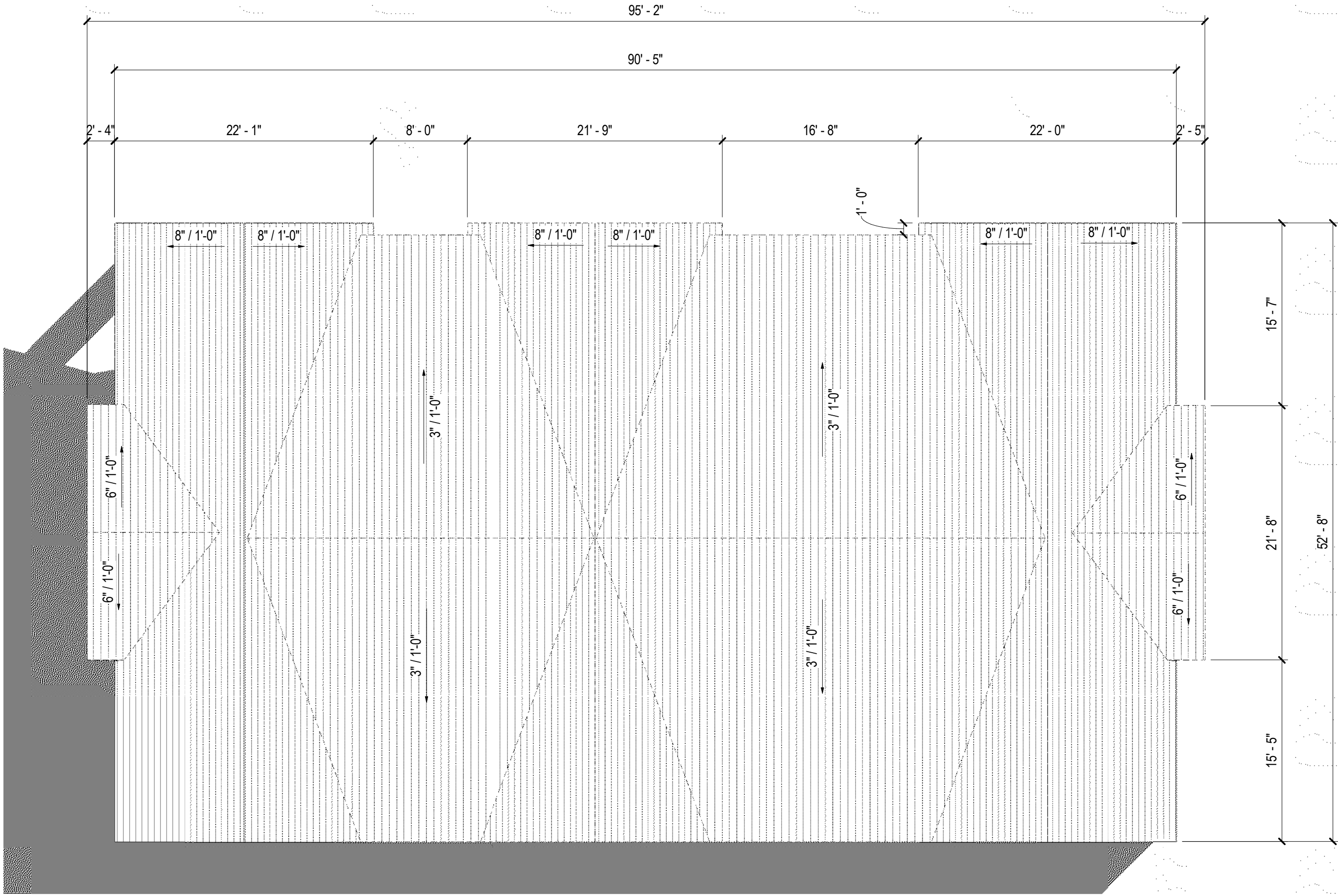
1 BLDG 3 - LEVEL 01
SCALE: 1/8" = 1'-0"



3 BLDG 3 - LEVEL 03
SCALE: 1/8" = 1'-0"



2 BLDG 3 - LEVEL 02
SCALE: 1/8" = 1'-0"



1 ROOF PLAN -TYPICAL
SCALE: 1/8" = 1'-0"

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SHEET TITLE:

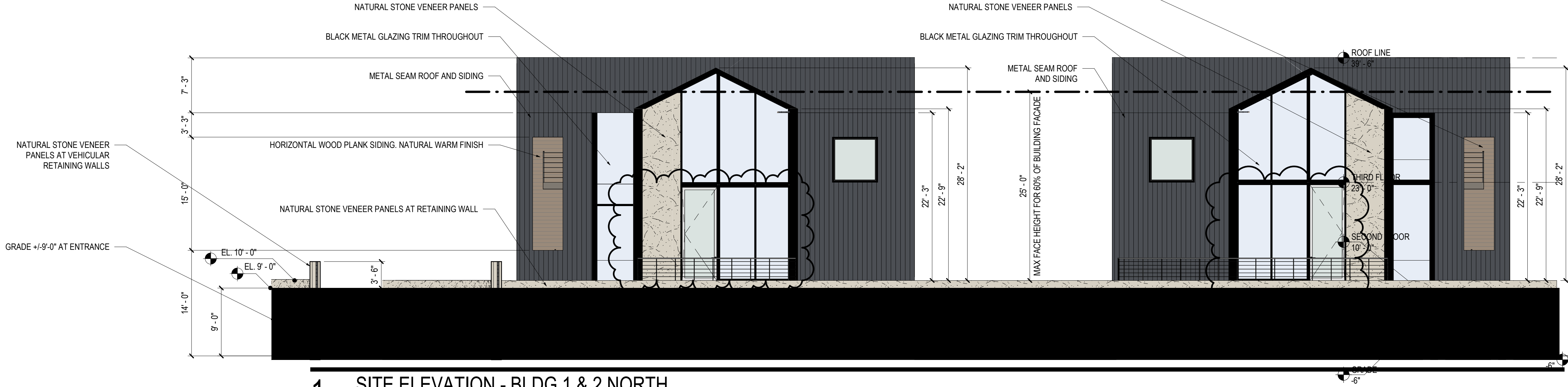
ROOF PLAN
TYP.

SHEET NUMBER:

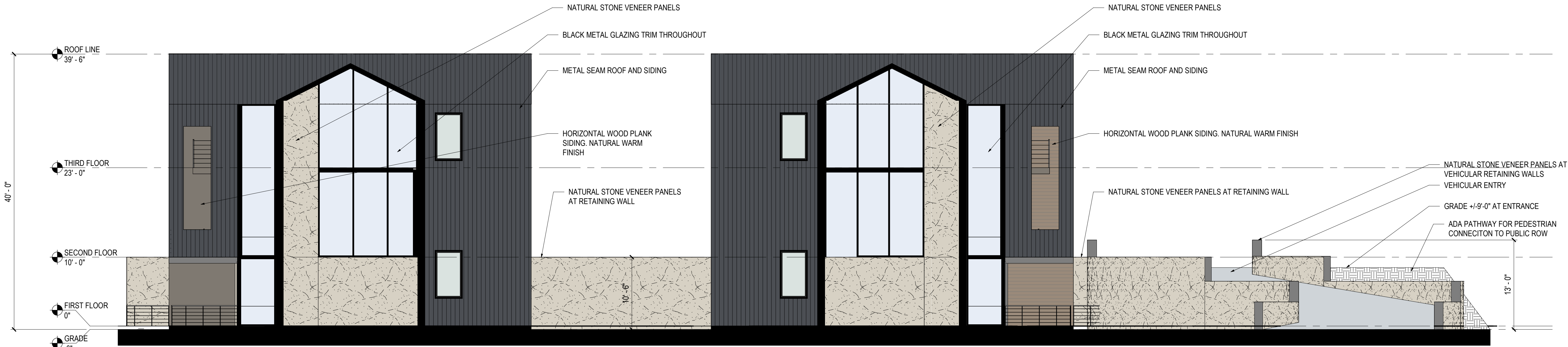
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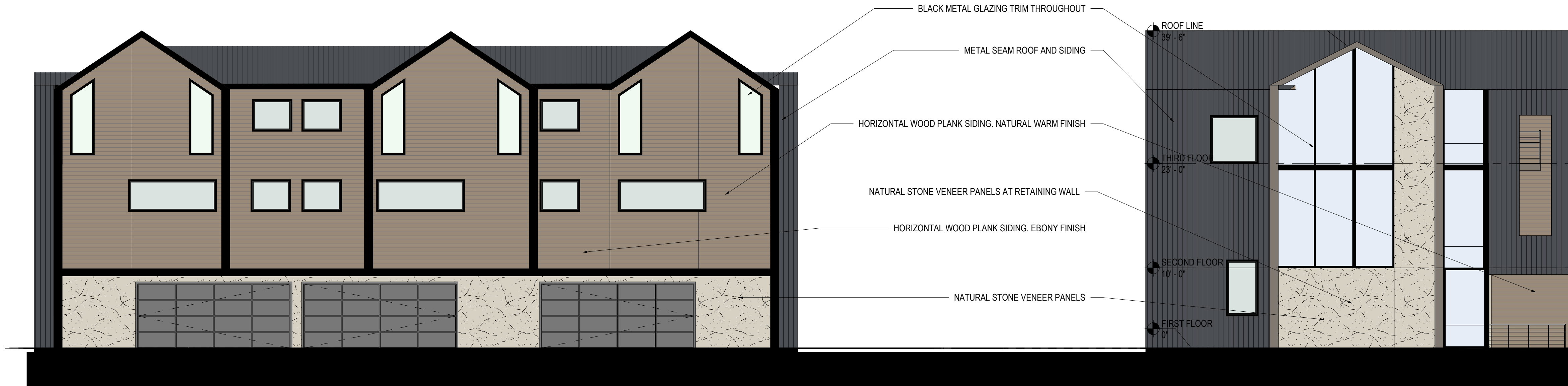
NOTE:
ALL ROOF EAVES SHALL
BE REQUIRED TO HAVE
SNOW RESTRAINT
DEVICES/SNOW RAILS
INSTALLED TO PREVENT
SNOW SHEDDING



1 SITE ELEVATION - BLDG 1 & 2 NORTH
SCALE: 1/8" = 1'-0"



2 SITE ELEVATION - BLDG 1 & 2 SOUTH
SCALE: 1/8" = 1'-0"



3 SITE ELEVATION - BLDG 3 & 4 SOUTH
SCALE: 1/8" = 1'-0"

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OWNER:

TERRA BLANCA

PROJECT STATUS:

ENTITLEMENT

DATE:

SHEET TITLE:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A500

1/10/2024 6:53:26 PM

NOTE:
ALL ROOF EAVES SHALL
BE REQUIRED TO HAVE
SNOW RESTRAINT
DEVICES/SNOW RAILS
INSTALLED TO PREVENT
SNOW SHEDDING

ARCHITECT: CHRIS BORD

TERRA BLANCA

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SHEET TITLE:

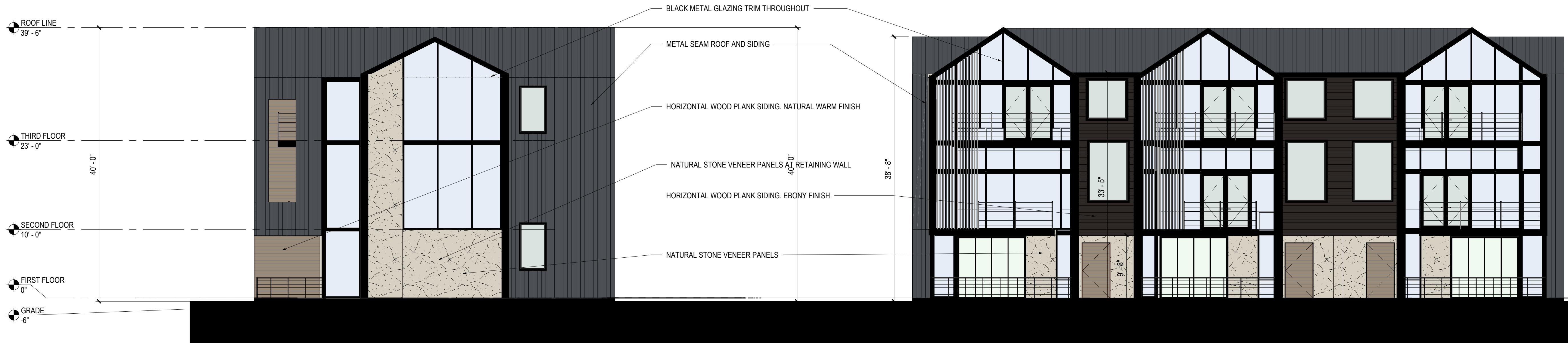
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A501



1 SITE ELEVATION - BLDG 1 & 3 WEST
SCALE: 1/8" = 1'-0"



4 BLDG 3 & 4 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 1 -EAST
SCALE: 1/8" = 1'-0"



ARCHITECT: CHRIS BORD

TERRA BLANCA

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OWNER:

TERRA BLANCA

PROJECT STATUS:

ENTITLEMENT

DATE:

SHEET TITLE:

RENDERINGS

SHEET NUMBER:

A900

1/10/2025 6:53:30 PM



ARCHITECT: CHRIS BORD

TERRA BLANCA

3946 HAINES STREET
UNIT B
SAN DIEGO CA 92109

SIGNATURES:

3789 MAIN
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Mammoth Lakes, CA 93546

OWNER:

TERRA BLANCA

PROJECT STATUS:

ENTITLEMENT

DATE:

SHEET TITLE:

RENDERINGS

SHEET NUMBER:

A901

1/10/2025 6:53:30 PM

1. ALL WORK SHALL CONFORM TO THE "CALTRANS STANDARDS AND SPECIFICATIONS" (CSS), AND THESE PLANS. IN THE EVENT OF CONFLICT BETWEEN THE CSS AND THE PLANS, THE CSS SHALL PREVAIL. ALL WORK IN TOWN OF MAMMOTH LAKES RIGHT-OF-WAY SHALL COMPLY WITH THE TERMS, CONDITIONS, AND REQUIREMENTS OF THE TOWN GRADING PERMIT.

3. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO CONTROL DUST IN CONSTRUCTION AREAS OR ON ACCESS ROADS. SUFFICIENT WATER TRUCKS SHALL BE MADE AVAILABLE FOR DUST CONTROL PURPOSES. ALL EXPOSED SOIL SURFACES SHALL BE MOISTENED AS REQUIRED TO AVOID NUISANCE CONDITIONS AND INCONVENIENCES FOR LOCAL RESIDENTS AND TRAVELERS OF NEARBY ROADWAYS.

4. ANY EVIDENCE OF THE HISTORICAL PRESENCE OF MAN FOUND DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE MAMMOTH LAKES PLANNING DEPARTMENT AND CONSTRUCTION SHALL STOP UNTIL FURTHER NOTICE.

5. TREE REMOVAL SHALL BE PERFORMED BY A LICENSED TIMBER OPERATOR ONLY. TIMBER OPERATOR SHALL NOTIFY CALIFORNIA DEPT. OF FORESTRY (714-782-4140) PRIOR TO COMMENCING WORK. ALL TREE REMOVAL SHALL CONFORM TO THE APPROVED TIMBER HARVEST PLAN, IF REQUIRED, & CALIFORNIA DEPARTMENT OF FORESTRY.

6. HOURS OF WORK SHALL BE IN ACCORDANCE WITH THE GRADING PERMIT, OR BETWEEN 7:00 AM AND 8:00 PM MONDAY THROUGH SATURDAY, THE GRADING PERMIT TAKING PRECEDENCE. OPERATIONS ON SUNDAYS AND TOWN HOLIDAYS ARE PERMITTED ONLY ON APPROVAL OF THE TOWN MANAGER OR TOWN ENGINEER AND LIMITED TO 9:00 AM TO 5:00 PM.

7. ONE SET OF SURVEY STAKES SHALL BE PROVIDED FOR EACH PHASE OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR THE COST OF RESETTING STAKES DESTROYED BY CONSTRUCTION OPERATIONS.

8. THE LIMITS OF CONSTRUCTION SHALL BE CAREFULLY AND FULLY FLAGGED PRIOR TO START OF CONSTRUCTION, AND POSTED SO AS TO PREVENT DAMAGE TO VEGETATION AND DISTURBANCE TO SOILS OUTSIDE OF THE AREA OF CONSTRUCTION.

9. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN ACCORDANCE WITH THE TOWN OF MAMMOTH LAKES ORDINANCES AND STANDARDS AND IN CONFORMANCE WITH THE CONSTRUCTION SAFETY ORDERS OF THE STATE OF CALIFORNIA, DEPARTMENT OF INDUSTRIAL RELATIONS, DIVISION OF INDUSTRIAL SAFETY. IN ADDITION, CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF GENERAL OSHA STANDARDS FOR THE PROTECTION OF WORKMEN AND THE GENERAL PUBLIC. OSHA PERMITS REQUIRED FOR DEEP TRENCHES.

10. AREAS TO BE GRADED SHALL BE CLEARED OF BRUSH, VEGETATION, LARGE BOULDERS, AND OTHER DELETERIOUS MATERIALS. CLEARED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR ONLY AT SITES APPROVED BY MAMMOTH LAKE'S DEPARTMENT OF PUBLIC WORKS. TOPSOIL SHALL BE STOCKPILED WITHIN THE CONSTRUCTION PERIMETER OR IN AREAS APPROVED BY THE TOWN OF MAMMOTH LAKE'S PLANNING DEPARTMENT FOR USE ON SLOPES AND DISTURBED AREAS.

11. WITH THE EXCEPTION OF TEMPORARY EXCAVATION FOR MASS GRADING AND AREAS SHOWN TO BE LANDSCAPED, CUT AND FILL SLOPES SHALL NOT EXCEED A STEEPNESS OF 2:1, UNLESS OTHERWISE NOTED, AND SHALL BE REVEGETATED TO CONTROL EROSION. STOCKPILED TOPSOIL WILL BE SPREAD EVENLY TO A DEPTH OF 6" MINIMUM OVER SLOPES AND DISTURBED AREAS, AND LANDSCAPED OR SEEDDED TO PREVENT EROSION AS SHOWN ON LANDSCAPE PLAN.

SEEDED SLOPES SHALL BE STABILIZED BY INSTALLATION OF AN EROSION CONTROL BLANKET, "NORTH AMERICAN GREEN SC150" OR APPROVED EQUAL, SECURED PER MANUFACTURE'S RECOMMENDATIONS.

12. FINISHED GRADES IN ALL AREAS SHALL COMPLY WITH PLAN ELEVATIONS. NO AREAS SHALL BE LEFT SUCH THAT A PONDING CONDITION OCCURS.

13. AT NO TIME SHALL THE CONTRACTOR DEWATER THE SITE BY PUMPING INTO THE EXISTING STORM DRAIN OR SUBDRAIN SYSTEM WITHOUT AGENCY APPROVED FILTRATION.

14. ALL SITE WORK SHALL BE COMPLETED PRIOR TO OCT 15 OF EACH YEAR. ANY WORK PROPOSED AFTER THIS DATE REQUIRES APPROVAL BY THE TOWN ENGINEER.

15. AGGREGATE BASE SHALL BE CLASS 2, 19mm MAXIMUM GRADING, AND SHALL CONFORM TO THE PROVISIONS OF SECTION 26, "AGGREGATE BASES," OF THE CSS AND SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557-00 (OR LATEST EDITION).

16. ALL SITE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 34.5MPA (5000 P.S.I.), FIBERMESH SHALL BE ADDED AT A RATE OF 1.5 LBS/CUBIC YARD. REINFORCING STEEL, IF REQUIRED, SHALL BE DEFORMED BILLET-STEEL BARS CONFORMING TO THE SPECIFICATIONS OF ASTM A 615 GRADE 420.

17. CONTRACTOR SHALL NOTIFY THE FOLLOWING COMPANIES/AGENCIES AT LEAST 48 HOURS IN ADVANCE FOR REQUESTING SERVICE/INSPECTION:

TOWN OF MAMMOTH LAKES
PUBLIC WORKS DEPT.
(760) 965-3651

18. EXISTING UTILITIES AND STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATION AND EXTENT. CONTRACTOR SHALL VERIFY AND TAKE PRECAUTIONS TO PROTECT EXISTING UTILITIES AND STRUCTURES.

ASSESSOR'S PARCEL NO.: 003-110-003
SITE AREA: 41,959 sq. ft.; 0.96 ac.
EXISTING ZONING: MLR
EXISTING LAND USE DESIGNATION: C-1
WATER SUPPLY: MAMMOTH COMMUNITY WATER DISTRICT
SEWAGE DISPOSAL: MAMMOTH COMMUNITY WATER DISTRICT
ELECTRICITY: SCE
TELEPHONE: FRONTIER COMMUNICATIONS
GAS: TBD
FIRE PROTECTION: MAMMOTH LAKES FIRE PROTECTION DISTRICT

SOUTH LINE OF THE SUBJECT PROPERTY CALCULATED BETWEEN FOUND MONUMENTS PER TMB 11/9 SHOWN HERE ON AS N85-30-35E.

TEMPORARY BENCHMARK PER TOML DATUM:
MAG NAIL NEAR EDGE OF DRIVEWAY
ELEVATION=7959.30'

ROOM & BORD ARCHITECTURE
CHRIS BORD
3946 HAINES STREET, UNIT B
SAN DIEGO, CA 92109
(619) 665-8454

TRIAD/HOLMES ASSOCIATES
549 OLD MAMMOTH RD. SUITE 202
P.O. BOX 1570
MAMMOTH LAKES, CA 93546
CONTACT: THOMAS A. PLATZ
PH 760-934-7588

LLA PAR 2
INST 2002008184

APN 033-110-003

LOT 6
GRAY BEAR III

LOT 7
GRAY BEAR III
TMB 11/9

LOT 8
GRAY BEAR III

LOT 1
SAN JOAQUIN VILLAS
TMB 10/1004

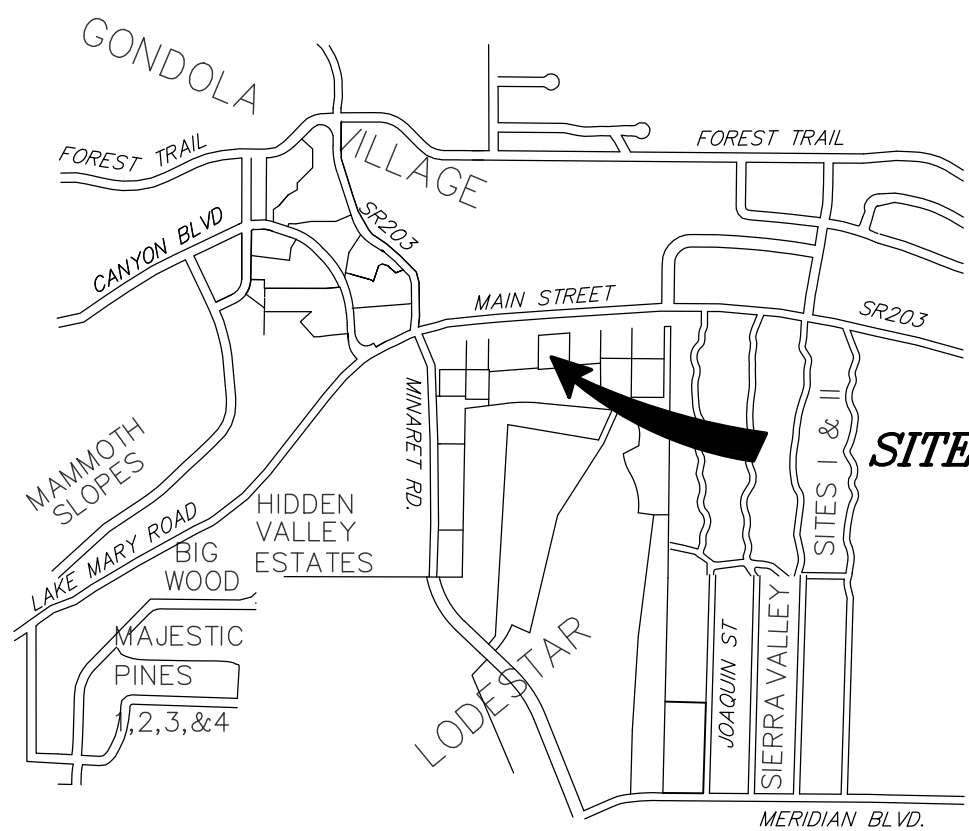
MAMMOTH GATEWAY VILLAGE
TMB 10/72

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

Required Retention Volume			
Rainfall	Quantity	1 in	= 0.083 ft
Tributary Area and Average Runoff Coefficient			
	Site		
	Area	C	
Roof/Conc	18,851 sf	45%	0.95
AC	13,590 sf	32%	0.90
Periuous Walkways	2,742 sf	7%	0.50
Landscape	6,736 sf	16%	0.35
Total Area	41,919 sf	100%	0.75
Retention Volume			
Volume Required = Tributary Area * Average Runoff Coefficient * Rainfall			
	Volume Required		
Site	2626 ft		

							BASIN DIMENSIONS				LINEAR FEET OF PIPE REQ'D
PIPE DIAMETER	PIPE VOLUME	STONE VOID	TOTAL RETENTION STORAGE	PERC VOLUME	RETENTION STORAGE W/PERC	LENGTH OF TYPICAL CROSS SECTION	TOTAL BASIN LENGTH	CROSS SECTION WIDTH (TOTAL BASIN WIDTH)	DEPTH OF STORAGE (NOT INCLUDING EARTH COVER)		
in.	ft ³ /cs-ft	ft ³ /cs-ft	ft ³ /cs-ft	ft ³ /cs-ft	ft ³ /cs-ft	ft.	ft ³ /cs-ft	ft.	ft.		
12	1.00	2.36	2.71	5.07	2.00	7.07	371	375	7.00	1.50	1114
15	1.25	3.68	3.29	6.98	2.23	9.20	285	290	7.75	1.75	856
18	1.50	5.30	3.90	9.20	2.46	11.66	225	230	8.50	2.00	676
24	2.00	9.42	5.19	14.62	2.92	17.53	150	155	10.00	2.50	449
30	2.50	14.73	8.59	23.32	3.88	27.19	97	102	13.50	3.00	290
36	3.00	21.21	10.43	31.64	4.33	35.97	73	79	15.00	3.50	219
42	3.50	28.86	12.38	41.24	4.79	46.03	57	64	16.50	4.00	171
48	4.00	37.70	14.43	52.13	5.25	57.38	46	53	18.00	4.50	137
54	4.50	47.71	16.69	64.31	5.71	70.02	38	45	19.50	5.00	113
60	5.00	58.90	18.87	77.77	6.17	83.94	31	39	21.00	5.50	94
INPUT SIZE OF PIPES (ft):						3.00					
INPUT NUMBER OF ROWS OF PIPES:						3					
INPUT PERCOLATION RATE (ft/hr):						0.25					
INPUT REQ'D. STORAGE VOLUME (cf):						2626					



NTS

C1 COVER SHEET
C2 CONCEPTUAL GRADING/DRAINAGE PLAN
C3 CONCEPTUAL OFFSITE GRADING PLAN
C4 CONCEPTUAL UTILITY PLAN
C5 SITE SECTIONS
C6 EROSION CONTROL PLAN

	PROPERTY LINE		WATER VALVE BOX
	CENTERLINE		SEWER MANHOLE
	EDGE OF PAVEMENT		EXISTING WATERLINE
	FENCE		EXISTING SEWERLINE
	TREE TYPE & SIZE P=PINE/F=FIR/S=SNAG		OVERHEAD UTILITIES
	TREE TYPE & SIZE TO BE REMOVED		FIRE HYDRANT
	EXISTING GROUND CONTOUR & ELEV.		PROPOSED FINISHED SURFACE
	PROPOSED GROUND CONTOUR & ELEV.		BOULDER, DRAWN TO APPROX. SIZE ORIENTATION VARIES
	PROPOSED AC		PROPOSED PERVIOUS WALKWAY
	PROPOSED CONCRETE		

EXCAVATION = 540 CY
EMBANKMENT = 1210 CY

EMBANKMENT = 1210 CY

EXCAVATION AND REPLACEMENT OF UNDOCUMENTED FILL = 10,800 CY

EARTHWORK QUANTITIES DO NOT INCLUDE ANY ADJUSTMENTS FOR SHRINKAGE, ROCK LOSS, STRIPPING, FOUNDATION AND TRENCH SPOILS, COMPACTION AND CONSOLIDATION OR OVEREXCAVATION. THE CONTRACTOR SHALL MAKE AN INDEPENDENT QUANTITY TAKEOFF AND BASE HIS BID ON QUANTITIES SO CALCULATED.

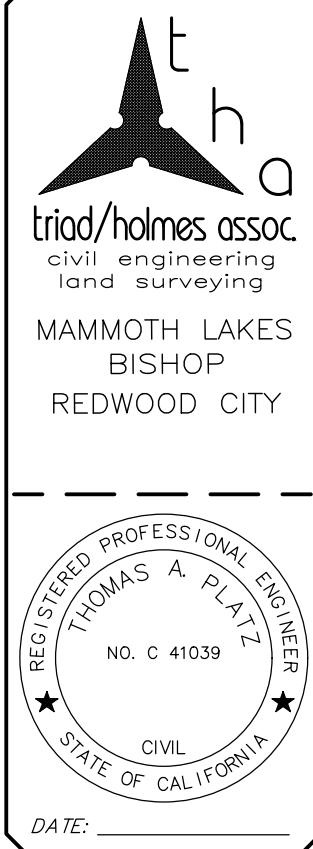
THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS.

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND, WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS".

THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTOR'S AND SUBCONTRACTOR'S COMPLIANCE WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND, WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS".

THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR CIVIL ENGINEER.

REVIEWED BY: MAMMOTH LAKES FIRE PROTECTION DISTRICT	REVIEWED BY: TOWN OF MAMMOTH LAKES PUBLIC WORKS DEPARTMENT
_____ DATE	_____ HANSLIP W. HAYES P.E. C 78268 DATE



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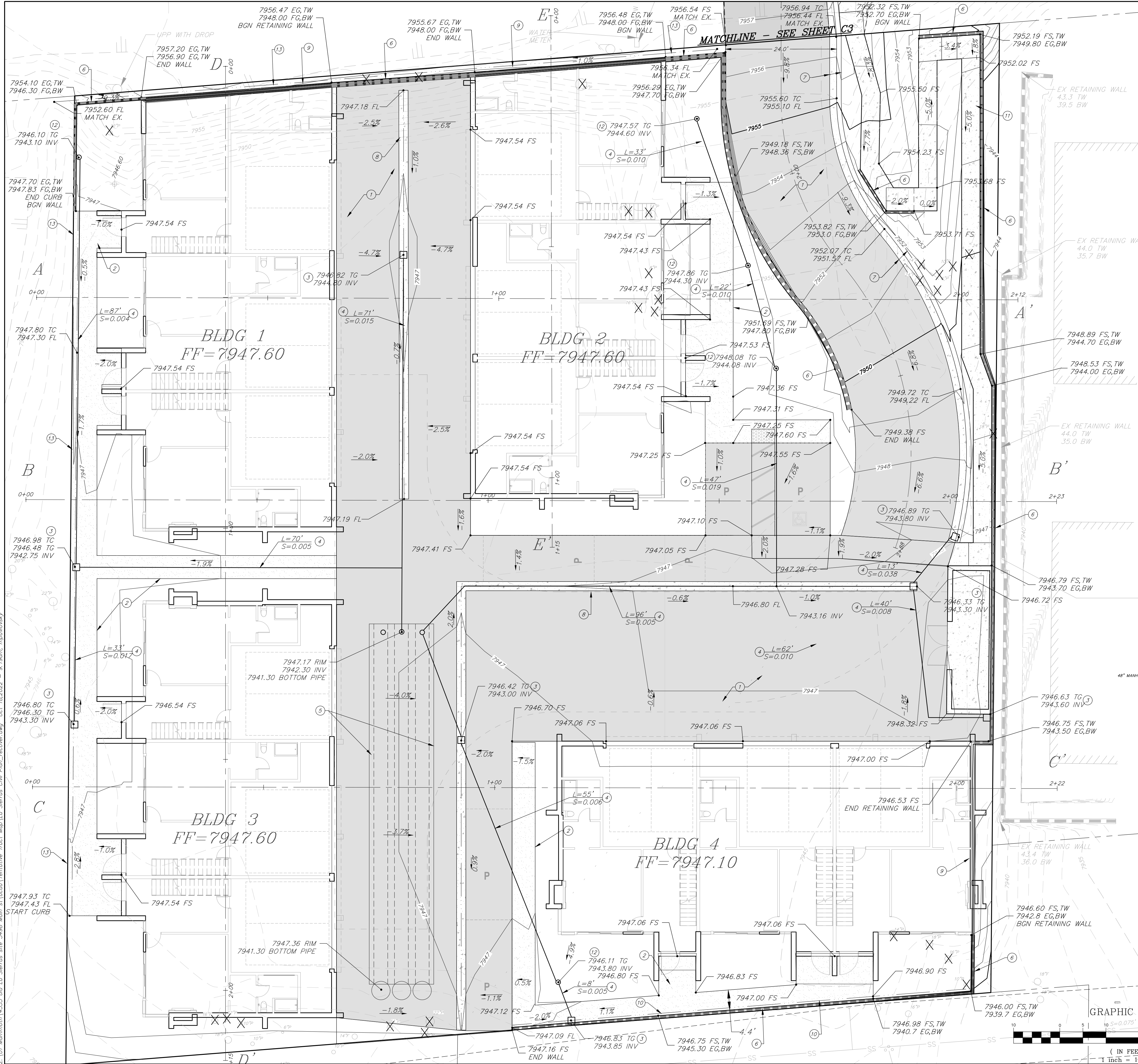
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PREPARED FOR

3789 MAIN STREET
COVER SHEET
TOWN OF MAMMOTH LAKES, COUNTY OF MONO, STATE OF CALIFORNIA

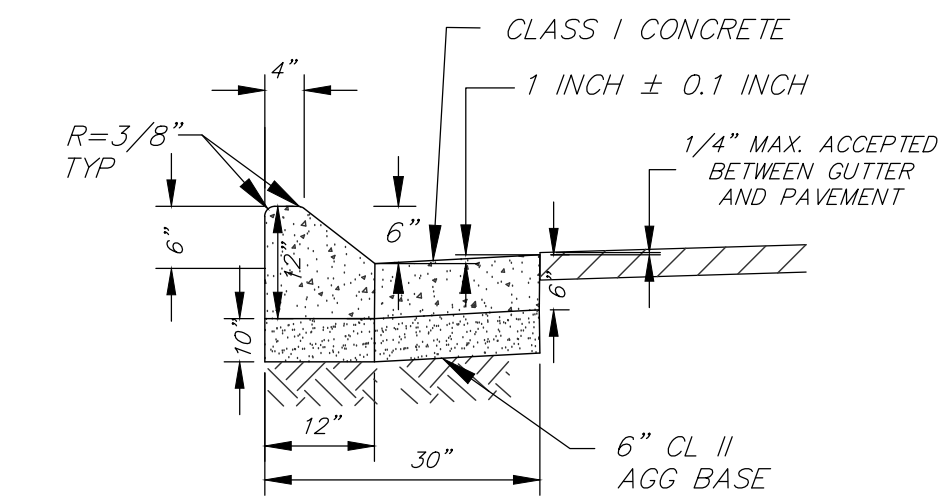
DATE	10/18/2022
SCALE	AS NOTED
DRAWN	MYP
JOB NO.	01.4355
DWG	C1
SHEET	1 OF 6

Z:\01 Mammoth\4555 old La Sierras Main st\Local Tentative Tract Map\La Sierras Civil Plan_recovering.dwg Oct 18,2022 -- 9:18am, mpanovsky



CONSTRUCTION NOTES

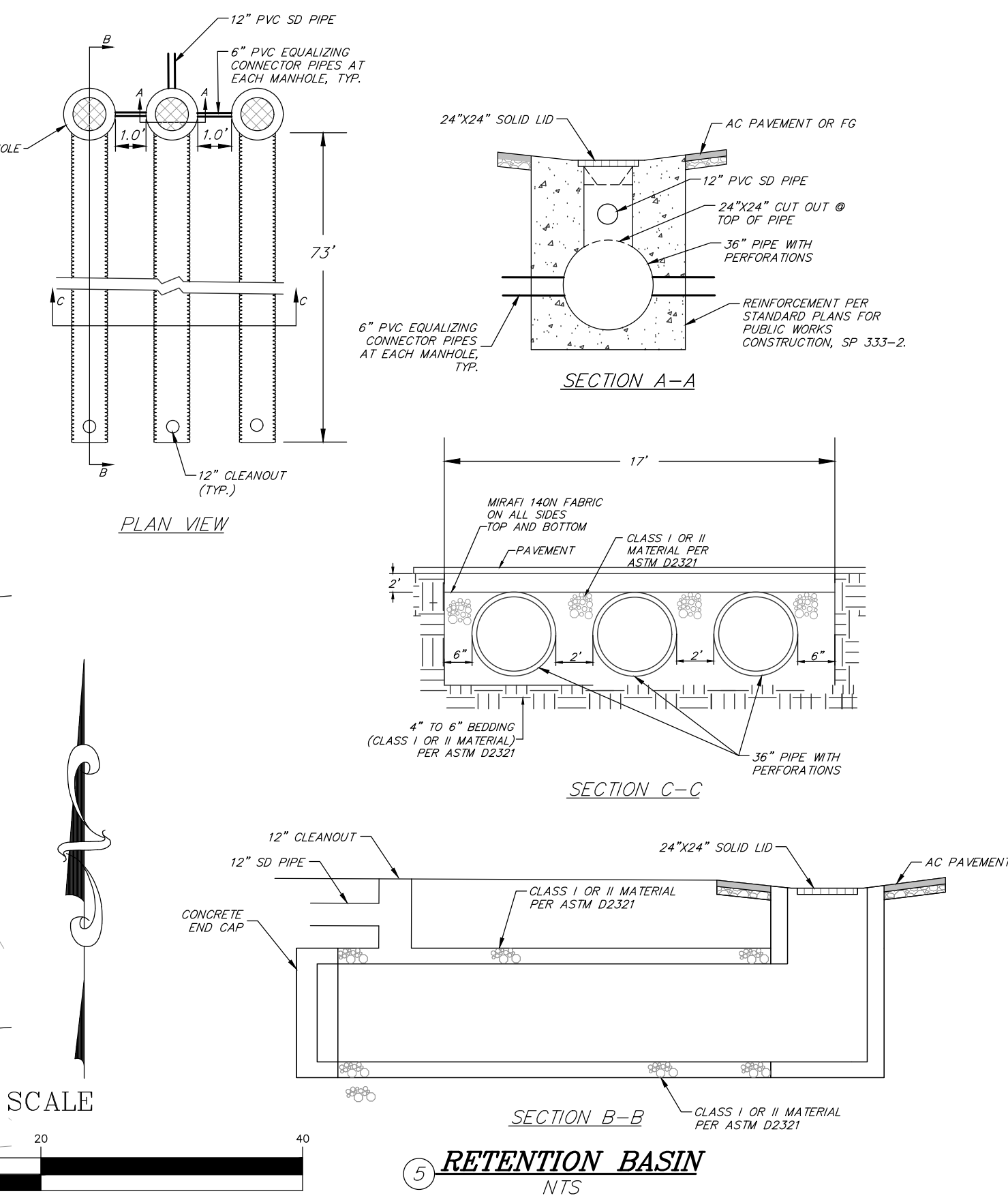
1. CONSTRUCT 4" HMA ON 6" CLASS II AGGREGATE BASE.
2. CONSTRUCT WALKWAY PER ARCHITECTURAL PLANS.
3. INSTALL 24"x24" JENSEN PRECAST DROP INLET WITH FOSSIL FUEL INSERT MODEL FGP-24F OR APPROVED EQUAL. CONTRACTOR TO VERIFY INLET/INSERT COMPATIBILITY.
4. INSTALL 12" SCH40 PVC DRAIN PIPE.
5. CONSTRUCT RETENTION SYSTEM PER DETAIL ON THIS SHEET.
6. RETAINING WALL PER STRUCTURAL ENGINEER.
7. INSTALL TYPE I CONCRETE CURB AND GUTTER PER TOML STANDARD PLAN 102-2.
8. CONSTRUCT CONCRETE VALLEY GUTTER PER DETAIL ON SHEET C3. BUILDING WALL PER STRUCTURAL ENGINEER.
9. CONSTRUCT 1" DEEP FLOW LINE.
10. CONSTRUCT 4" CONCRETE WALKWAY.
11. INSTALL 6" YARD DRAIN.
12. INSTALL VARIABLE CURB.
13. CONSTRUCT GRADED SWALE PER DETAIL ON SHEET C3.



GENERAL NOTES FOR CONCRETE CURB

1. CONCRETE SHALL BE PER BE APPROVED BY THE PUBLIC WORKS ENGINEER.
2. PLACE CONTROL JOINTS IN ACCORDANCE WITH ACI 224.3R-95, ACI 325.12R-02.
3. SUBGRADE SHALL BE SCARIFIED A MIN. OF 12 INCHES, MOISTURE CONDITIONED, AND COMPACTED TO A MIN. OF 95% RELATIVE COMPACTION.
4. TOP AND FACE OF CURB SHALL BE TROWLED SMOOTH AND FINISHED WITH A FINE BRUSH.
5. CONFORM TO THE "CALTRANS STANDARDS AND SPECIFICATIONS" (CSS).

TYPE I CURB AND GUTTER DETAIL NTS



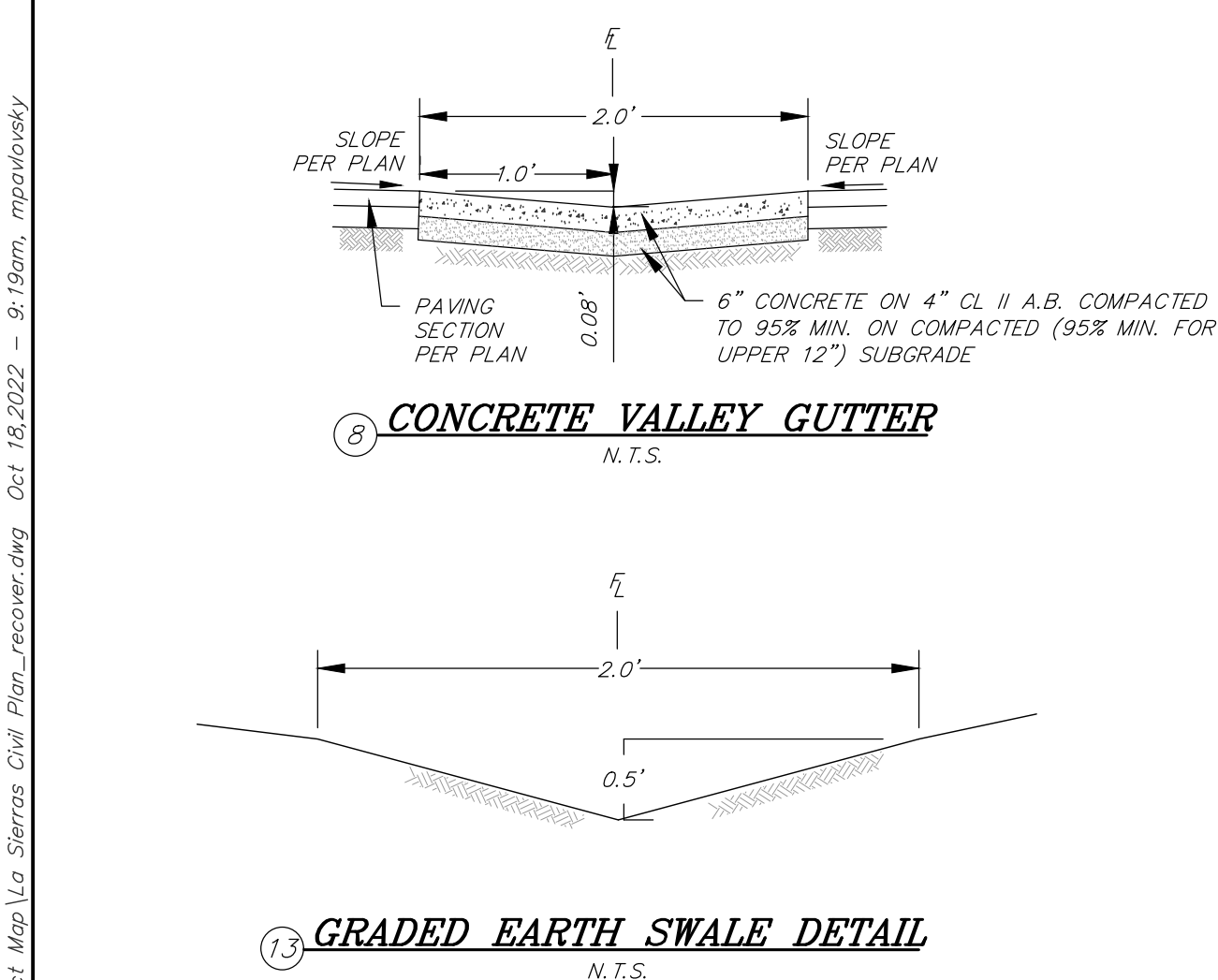
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REVISIONS:	BY:

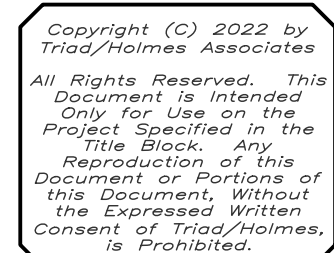
PREPARED FOR:

3789 MAIN STREET
CONCEPTUAL SITE GRADING / DRAINAGE
TOWN OF MAMMOTH LAKES, COUNTY OF MONO, STATE OF CALIFORNIA

DATE 10/18/2022
SCALE AS NOTED
DRAWN MYP
JOB NO. 01.4355
DWG C2
SHEET 2 OF 6

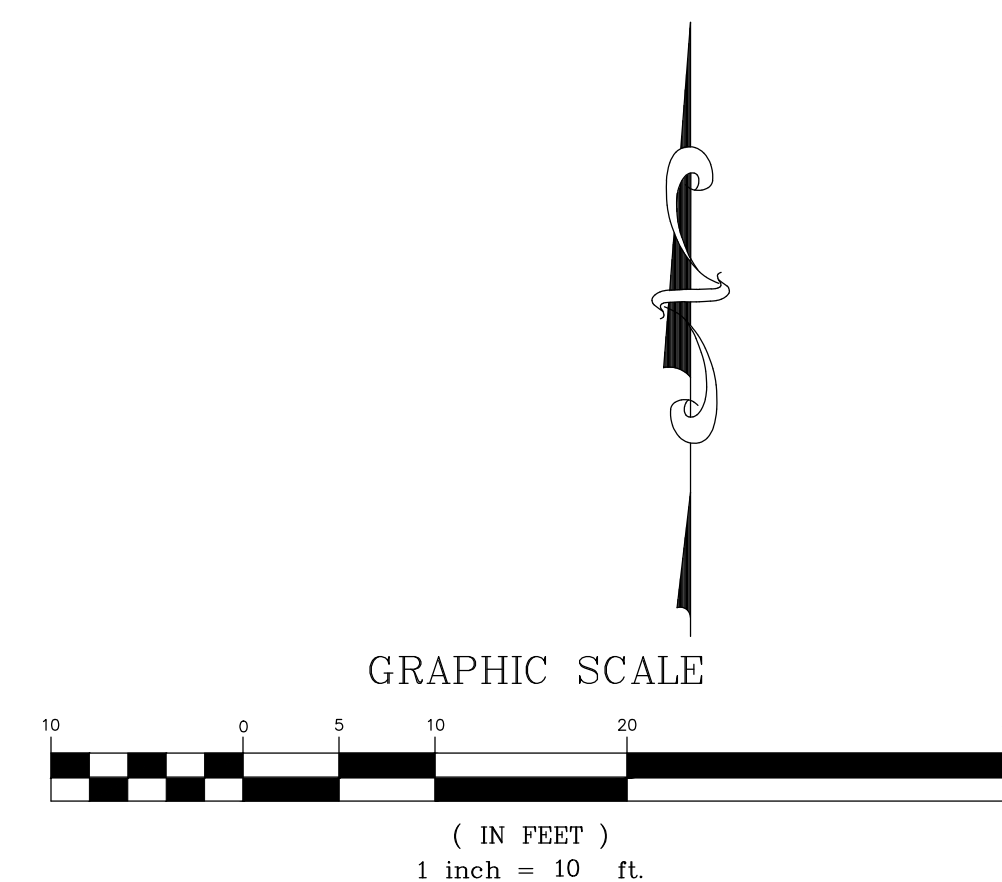


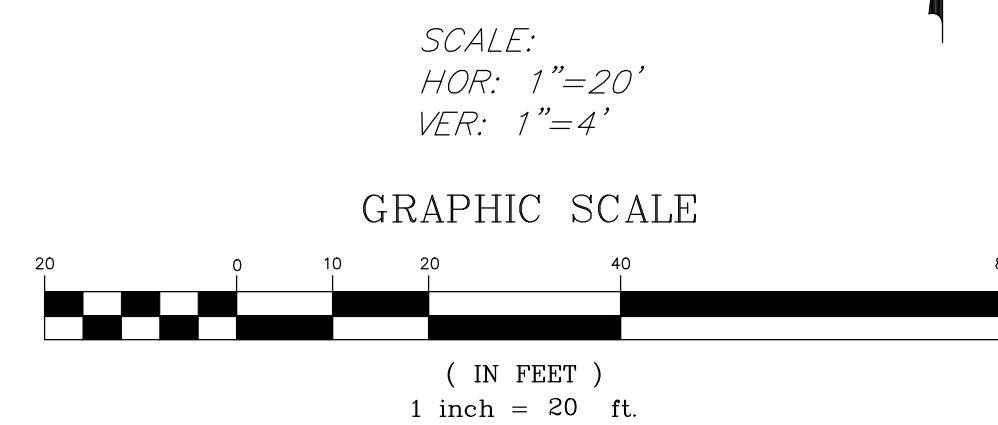
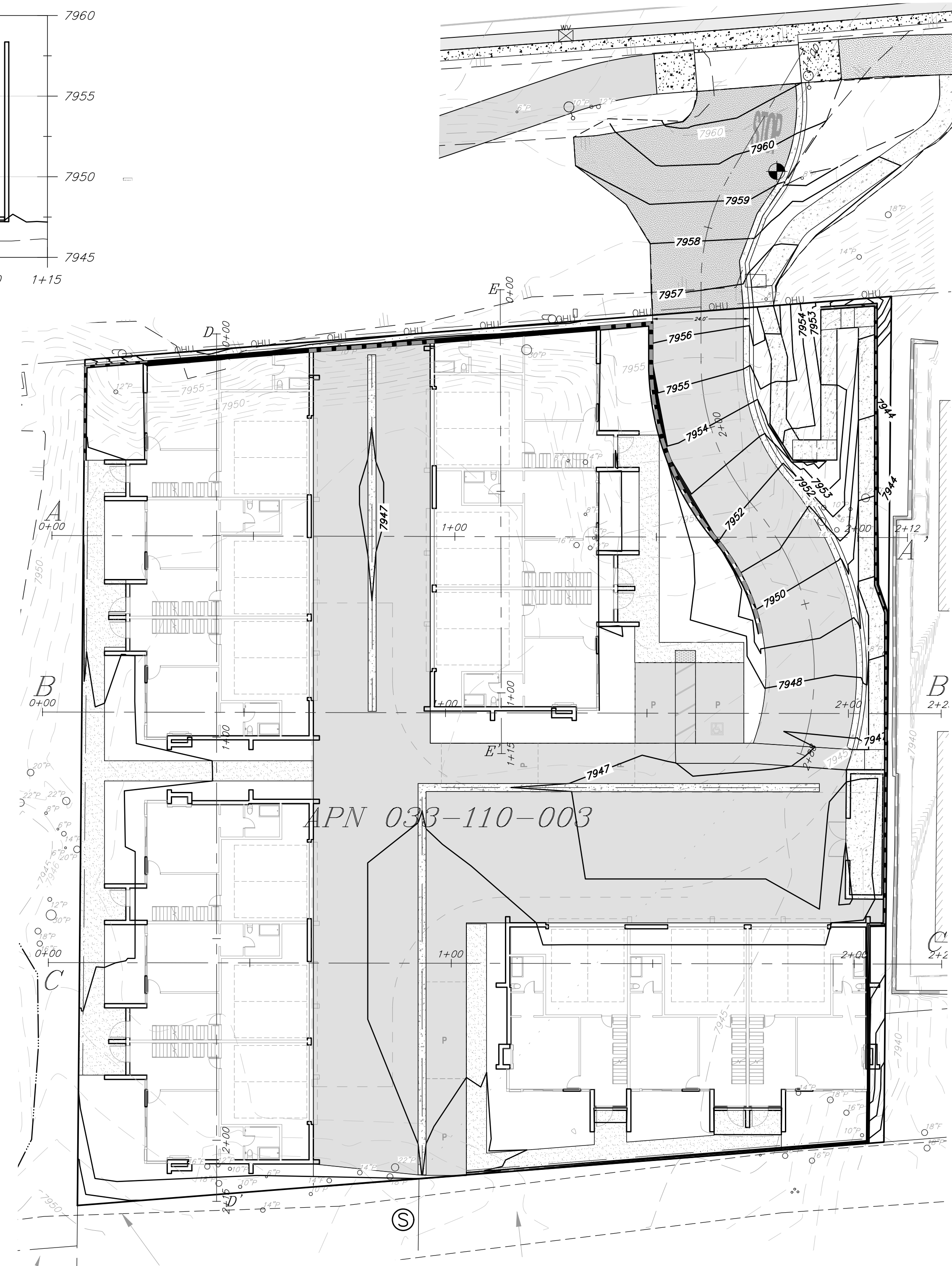
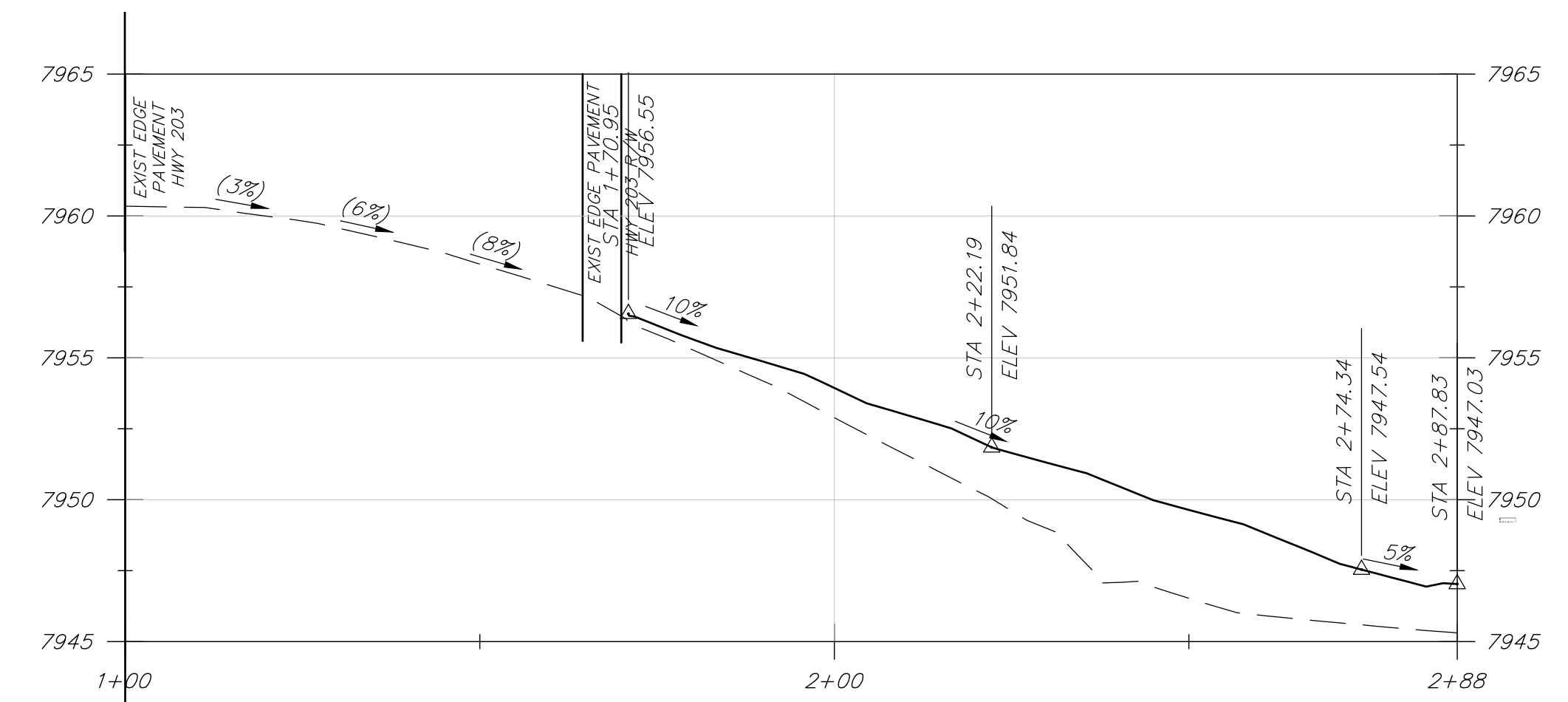
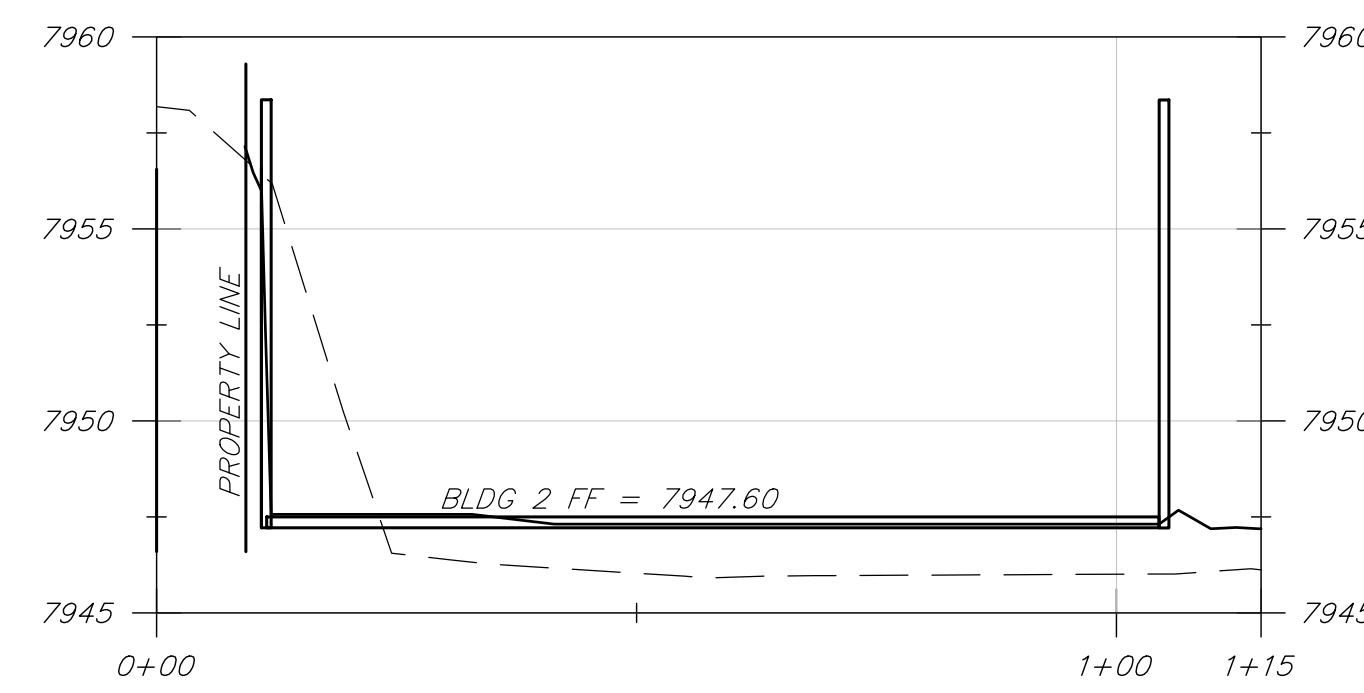
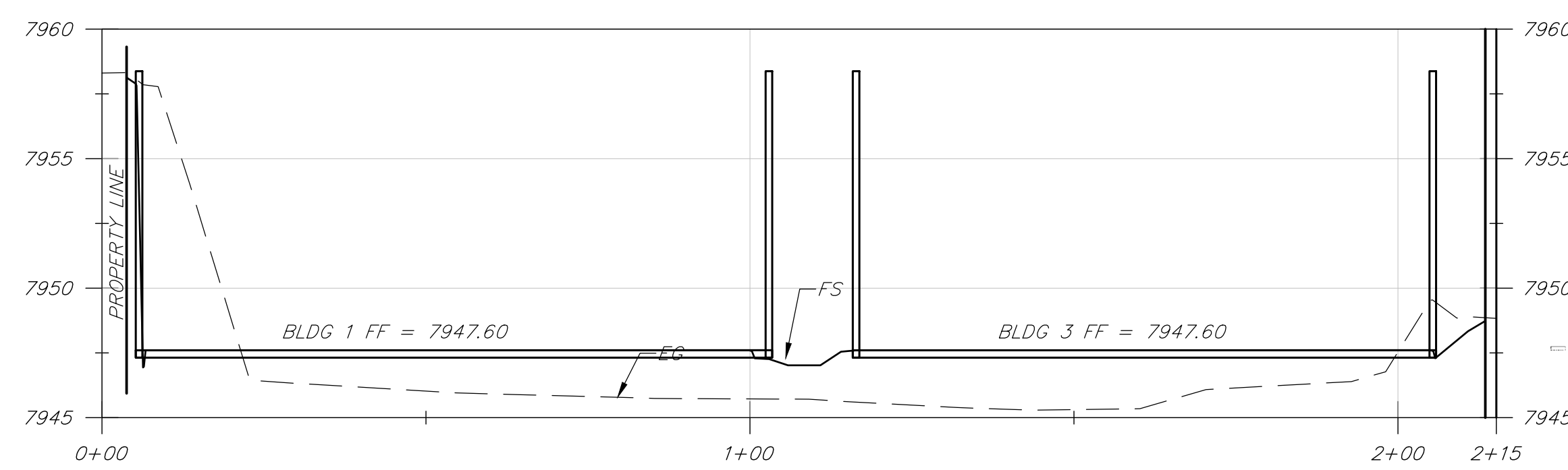
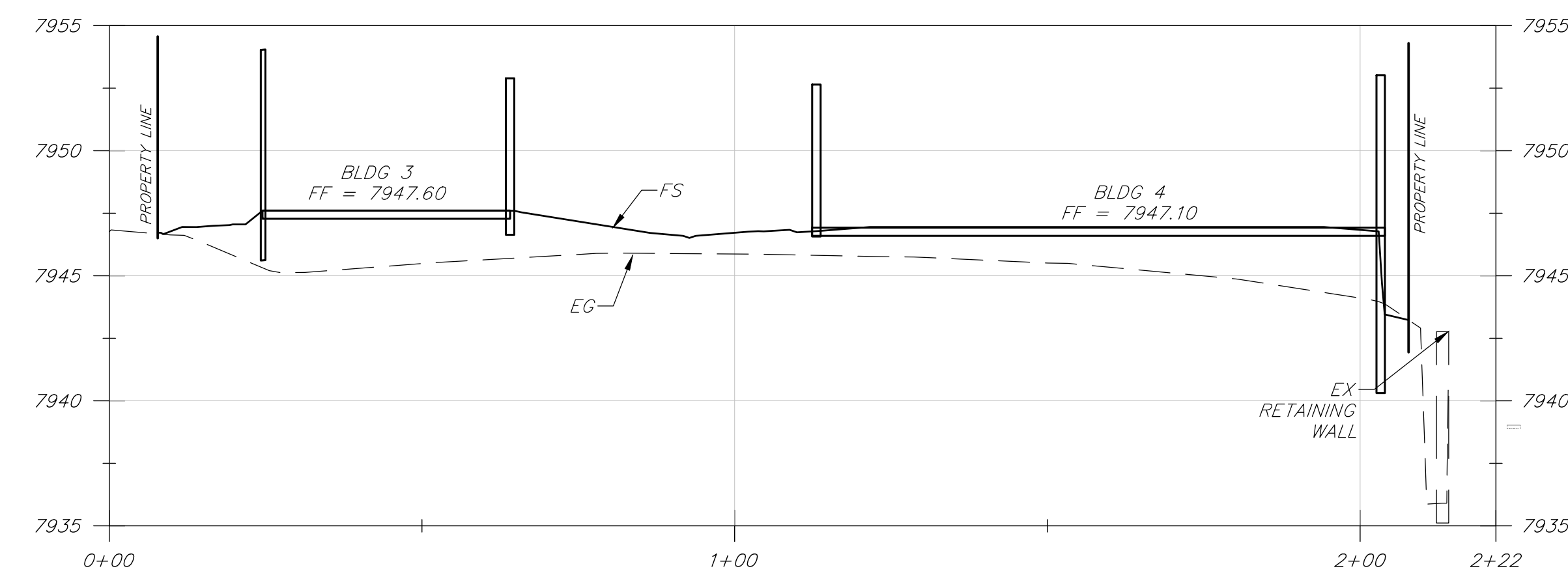
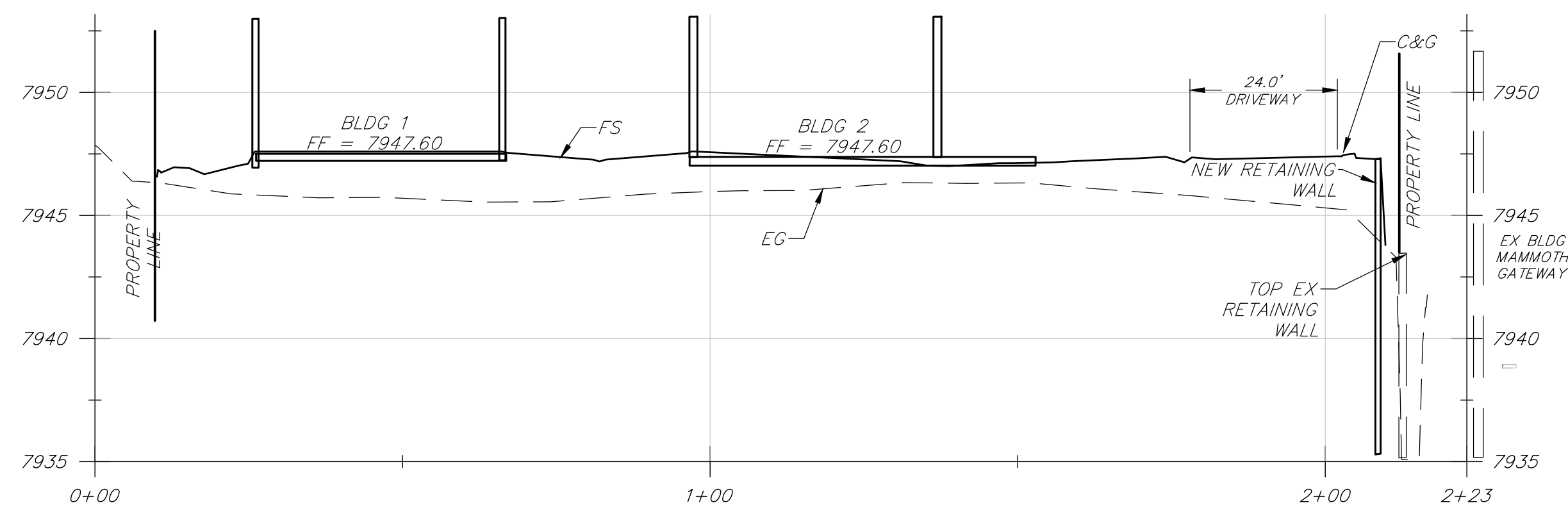
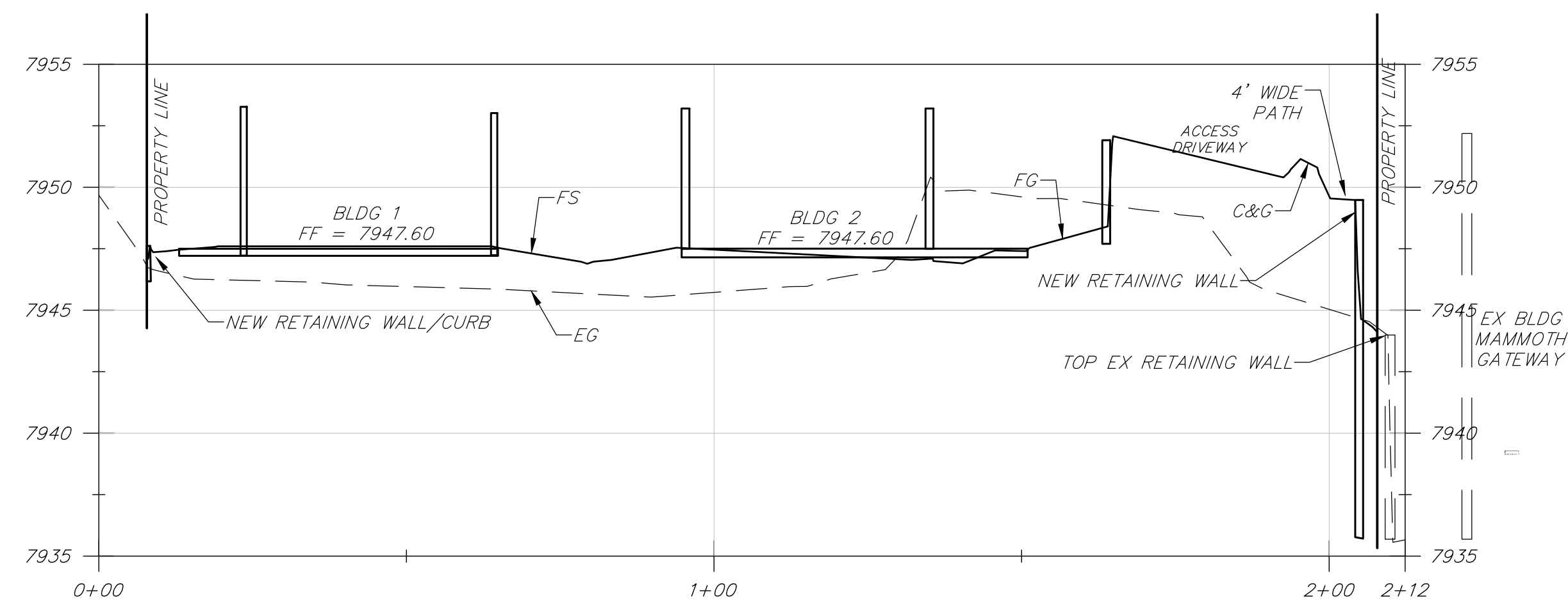
- ① RE-GRADE AND CONSTRUCT 4" HMA ON 6" CLASS II AGGREGATE BASE.
- ② INSTALL 5' WIDE CONCRETE ADA PATH PER TOML STANDARD PLAN 108.
- ③ INSTALL TYPE I CONCRETE CURB AND GUTTER PER TOML STANDARD PLAN 102-2.

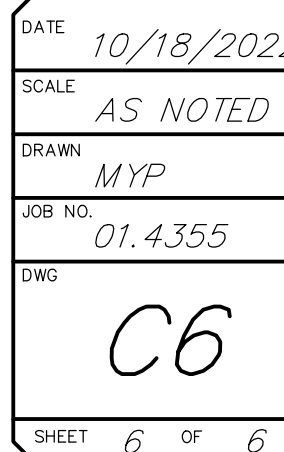
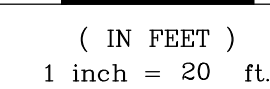
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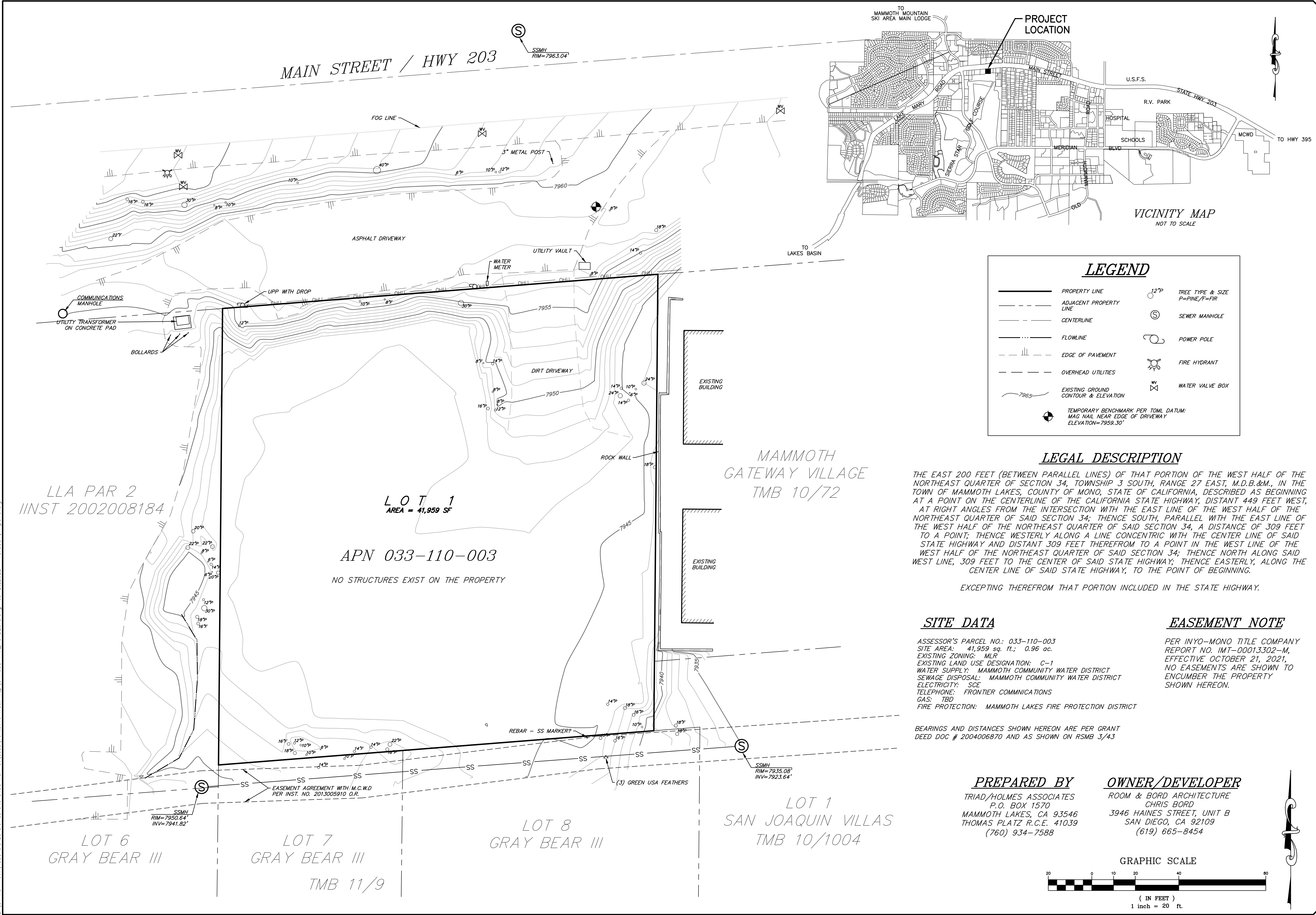
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SCALE	AS NOTED
DRAWN	MYP
JOB NO.	01.4355
DWG	C3
SHEET	3 OF 6







Z:\01 Mammoth\4355 old La Sierras site\3498 Main st\acad\Tentative Tract Map\01.4355 TTM\ACAD\2018.dwg Jul 25, 2022 - 10:58am, mpaivovsky



triad/holmes assoc.
civil engineering
land surveying

MAMMOTH LAKES
BISHOP
REDWOOD CITY
SAN LUIS OBISPO

PREPARED & SUBMITTED BY:

DATE:

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PREPARED FOR:
ROOM & BORD ARCHITECTURE
CHRIS BORD
3946 HAINES STREET, UNIT B
SAN DIEGO, CA 92109
619-665-8454

3789 MAIN STREET, TERRA BLANCA UNITS
TENTATIVE TRACT MAP 22-003
FOR CONDOMINIUM PURPOSES
TOWN OF MAMMOTH LAKES, MONO COUNTY, STATE OF CALIFORNIA

DATE	07/25/2022
SCALE	1"=20'
DRAWN	SR
JOB NO.	01.4355
DWG	TTM1
SHEET	7 of 7