

SIERRA NEVADA RESORT

164 OLD MAMMOTH ROAD, MAMMOTH LAKES, CA 93564

DESIGN REVIEW SUBMITTAL

JANUARY 28, 2022

REVISED 1/28/2022

SCOPE OF WORK

PARTIAL RENOVATION OF EXISTING HOTEL AND RESTAURANT. DEMOLITION OF EXISTING RESTAURANT BUILDING. ADDITION OF NEW SLEEPING UNITS IN DETACHED BUILDINGS PER SITE PLAN.

LIST OF PERMITS

PERMIT TYPE	PERMIT NUMBER	DATE OF SUBMITTAL
DESIGN REVIEW SUBMITTAL	TBD	NOVEMBER 17, 2021

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ENERGY EFFICIENT STANDARDS
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALGREEN CODE

PROJECT TEAM

OWNER: WN SN MAMMOTH, LLC
164 OLD MAMMOTH RD, MAMMOTH LAKES, CA 93546
CONTACT: PEG BLACKALL - (P) (850) 251-2337

CONTRACTOR: WATERTON RESIDENTIAL LLC
30 S WACKER DR, STE 3600, CHICAGO, IL 60606
CONTACT: JOHN DALEY - (P) (508) 509-5529

CIVIL/SURVEYOR: TRIAD HOLMES ASSOCIATES
549 OLD MAMMOTH ROAD, STE #202, MAMMOTH LAKES, CA 93546
CONTACT: TOM PLATZ - (P) (760) 934-7588

LANDSCAPE: HODGSON DOUGLAS LANDSCAPE ARCHITECTS
507 MAIN ST, NASHVILLE, TN 37206
CONTACT: RICHIE JONES - (P) (615) 417-3137

ARCHITECT: (HOTEL) AXIS GFA ACHITECTURE + DESIGN
1000 BRANNAN ST, STE 404, SAN FRANCISCO, CA 94103
CONTACT: RORY CARROLL - (P) (510) 333-8530

ARCHITECT: (CABINS) GROUPARCHITECT
1735 WESTLAKE AVE N, SUITE 200, SEATTLE, WA 98109
CONTACT: BRIAN PALIDAR - (P) (206) 365-1230

STRUCTURAL: (CABINS) ASHLEY & VANCE ENGINEERING
7530 LONGLEY LN SUITE 105 | RENO, NV 89511
CONTACT: JORDAN DENIO - (P) (775) 825-4945 X 113

MECH/PLUMB: (CABINS) ASPEN ENGINEERING
5474 LONGLEY LANE, SUITE #200, RENO, NEVADA 89511
CONTACT: WAYNE BAKER - (P) (775) 826-6061

ELECTRICAL ENGINEER (CABINS) JENSEN ENGINEERING, INC.
9655 GATEWAY DRIVE, SUITE A, RENO, NV 89521
CONTACT: GEORGE JENSEN - (P) (775) 852-2288

INTERIORS: EDG INTERIOR ARCHITECTURE + DESIGN
HANGAR 7, 7 HAMILTON LANDING, STE 200, NOVATO, CA 94949
CONTACT: RAY GONZALES - (P) (415) 755-9210

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APPENDIX A: SITE LIGHTING, 01/06/22



SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2022
DESIGN REVIEW RESUBMITTAL 01/28/2022

SHEET DATE: 01/06/22
REVISIONS

DRAWN: LGN
CHECKED: BJP
PROJECT No. 2116

SHEET TITLE:
**DESIGN REVIEW
COVER SHEET**

ISSUE: PERMIT SET

A.00



The Sierra Nevada Resort will honor the original escape into the wild & unexpected.



- LEGEND**
- 1 Porte Cochere Entry
 - 2 Retaining Wall
 - 3 SNR Patio Deck
 - 4 Fire Pit Area with Adirondack Chairs
 - 5 Cafe Tables
 - 6 Trash / Back-of-House Access
 - 7 Flagstone Paved, Recessed Fire Pit with Lounge Seating
 - 8 Terraced Lawn with Adirondack Chairs
 - 9 Raised Planter
 - 10 ADA Access Ramp
 - 11 Spa Area
 - 12 Chaise Loungers
 - 13 Pool Fencing
 - 14 Meandering Cabin Access Trail
 - 15 Rafters Patio Deck
 - 16 String Lighting
 - 17 Food Garden
 - 18 Food Truck Plaza
 - 19 Entry Portal
 - 20 Proposed Cabins
 - 21 Bike Parking (10 Spots)
 - 22 Performance Stage
- Parking Count = 182**

SIERRA NEVADA RESORT
SP PRESENTATION - SITE PLAN

HDLA



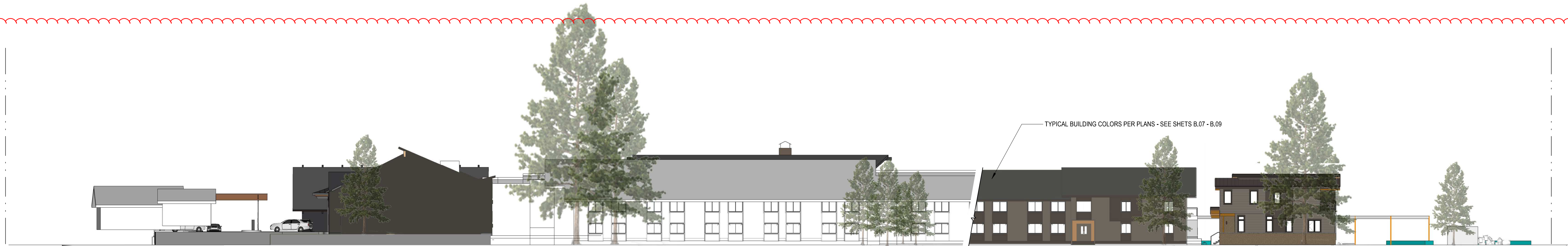
EXISTING CONDITIONS - OLD MAMMOTH ROAD



EXISTING CONDITIONS -
INTERSECTION OF LAUREL MOUNTAIN ROAD AND SIERRA NEVADA ROAD



EXISTING CONDITIONS -
INTERSECTION OF OLD MAMMOTH ROAD AND SIERRA NEVADA ROAD



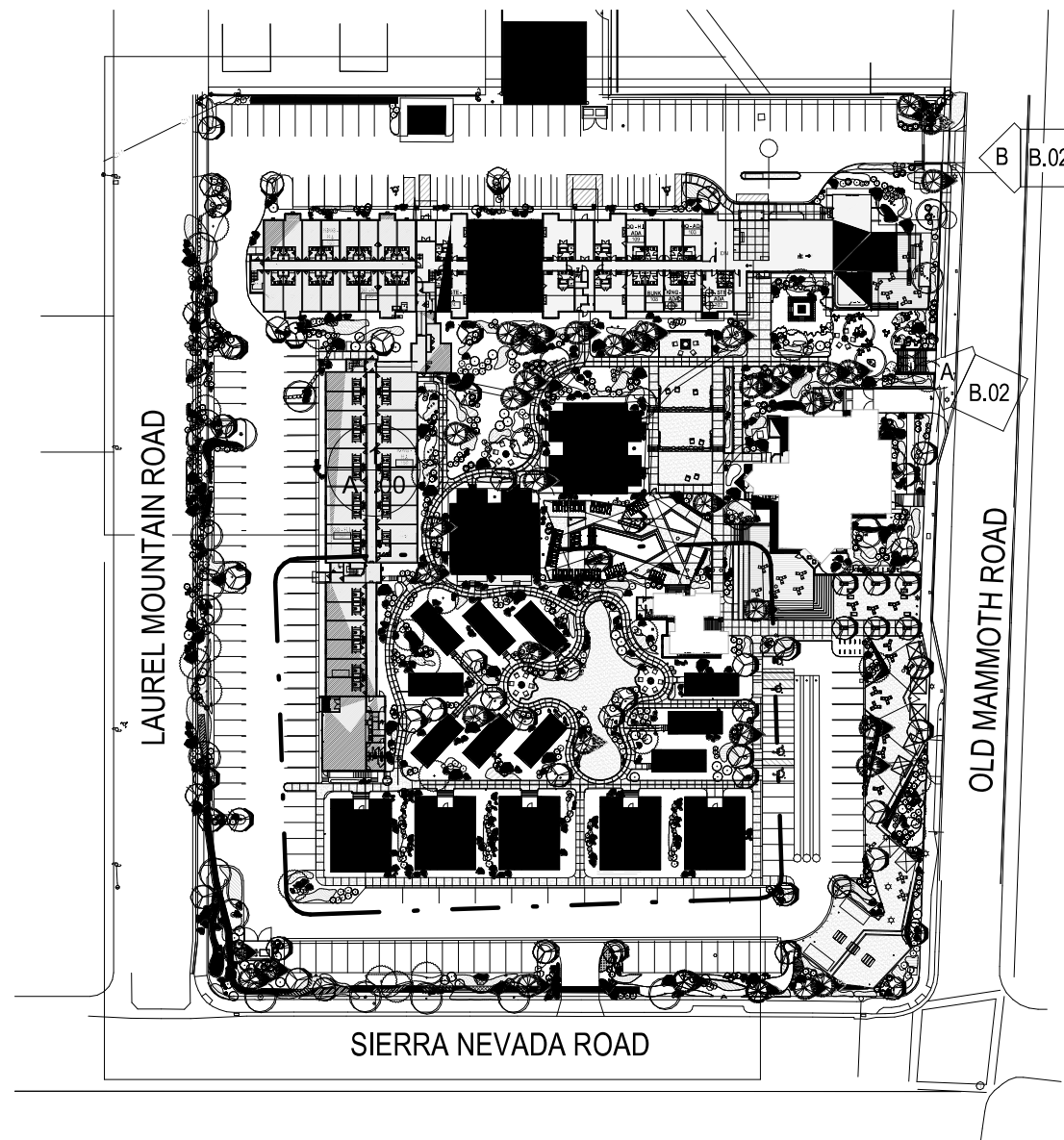
STREET ELEVATION - LAUREL MOUNTAIN ROAD (LOOKING EAST)
SCALE: 1" = 20'-0"



STREET ELEVATION - OLD MAMMOTH ROAD (LOOKING WEST)
SCALE: 1" = 20'-0"



STREET ELEVATION - SIERRA NEVADA ROAD (LOOKING NORTH)
SCALE: 1" = 20'-0"



OUTDOOR GARDENS ALONG OLD MAMMOTH ROAD

A
B.02



PROJECT ENTRY FROM OLD MAMMOTH ROAD

B
B.02

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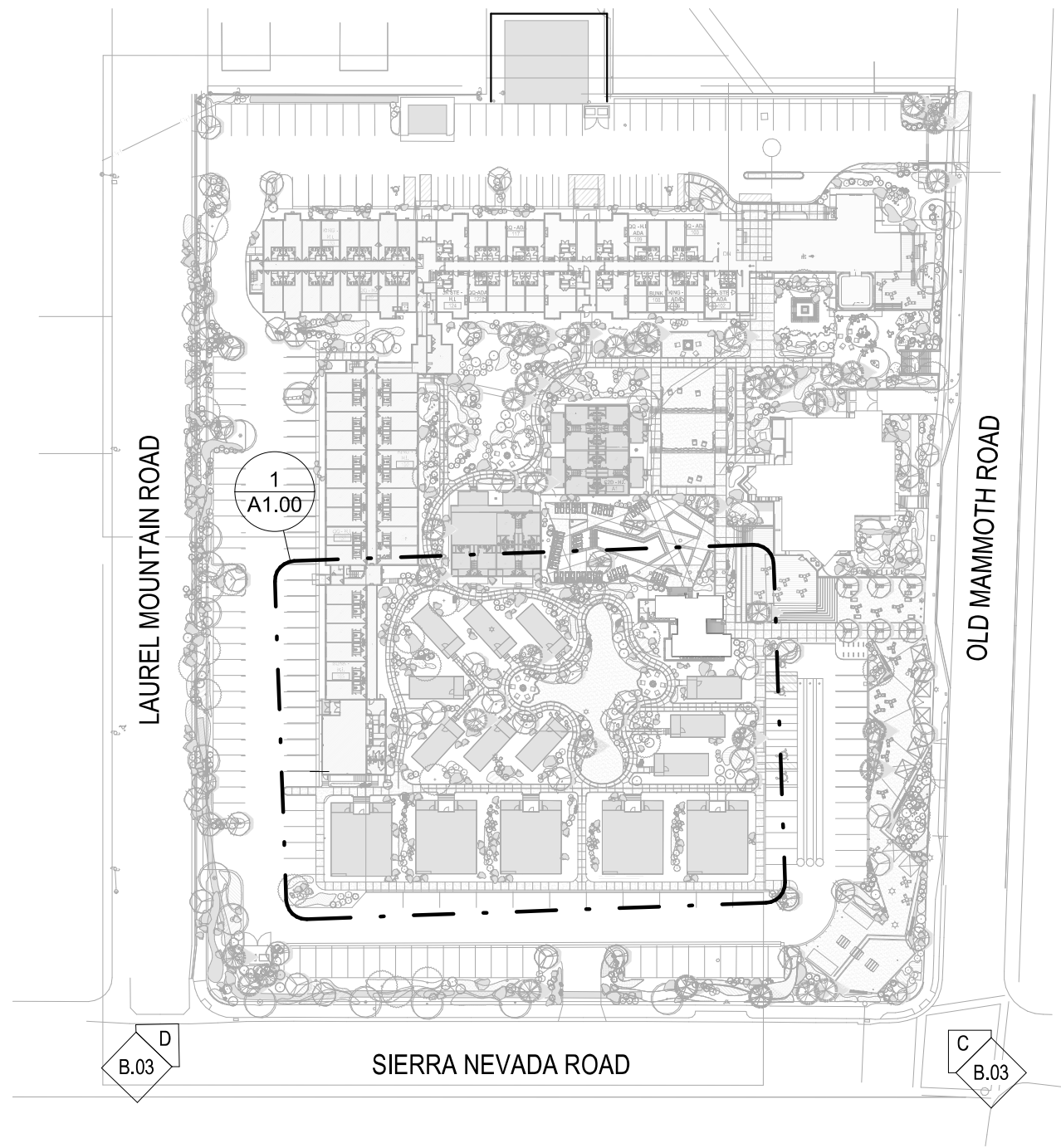
SHEET DATE: 01/06/22
REVISIONS

DRAWN: LGN
CHECKED: BJP
PROJECT No. 2116

SHEET TITLE:
**PROJECT
PERSPECTIVES -
OLD MAMMOTH
ROAD**

ISSUE: PERMIT SET

B.02



STREETSCAPE ALONG SIERRA NEVADA ROAD

C
B.03



INTERSECTION OF SIERRA NEVADA ROAD + LAUREL MOUNTAIN ROAD

D
B.03

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
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WATERTON

t ha **HD LA**

grouparchitect

AXISGF/
ARCHITECTURE + DESIGN

EDG **FELLOW**

method homes

SPRINGBOARD
HOSPITALITY

PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

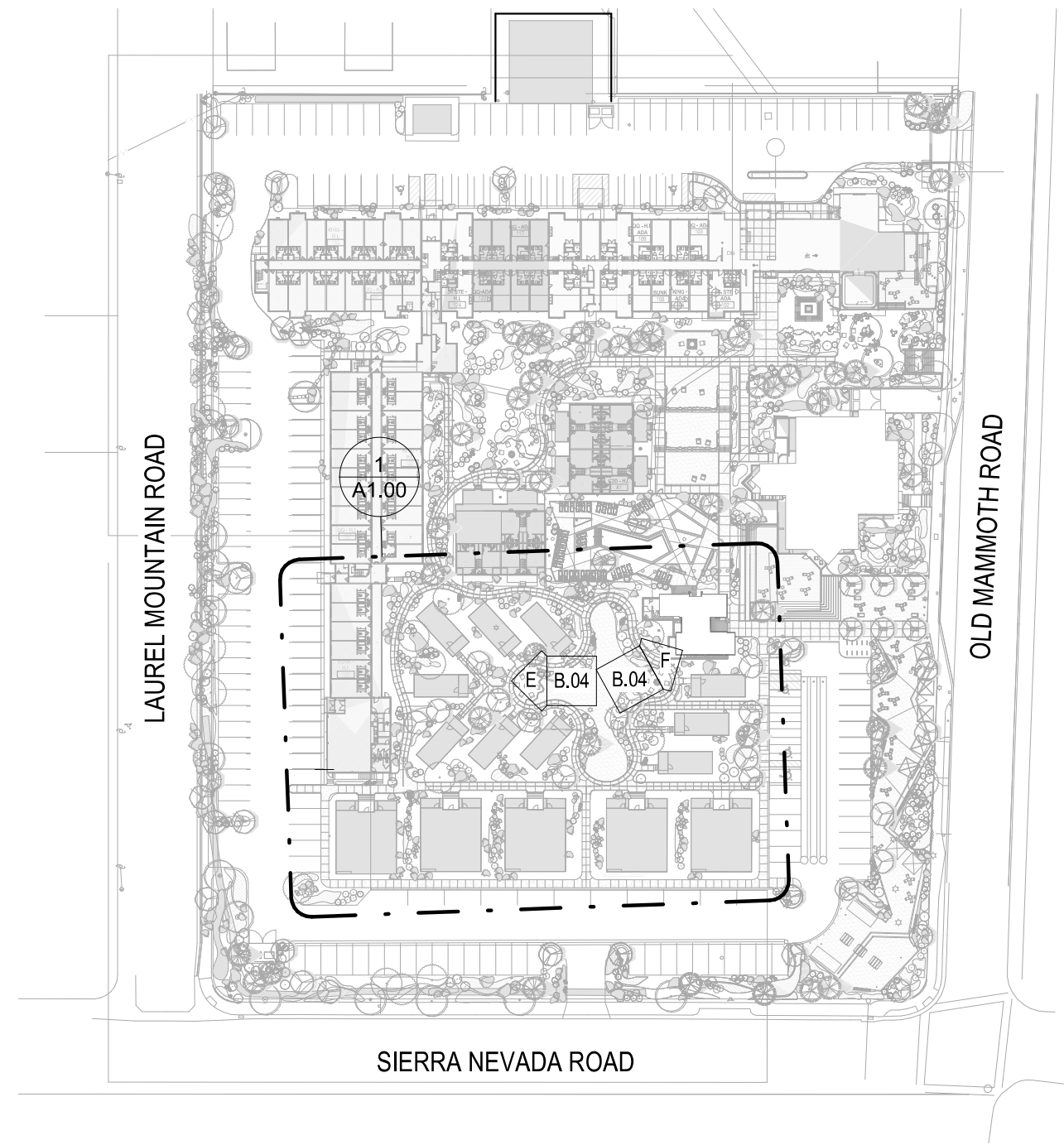
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REVISIONS

DRAWN: JMA
CHECKED: BJP
PROJECT No. 2116

SHEET TITLE:
**PROJECT
PERSPECTIVES -
STREET
FRONTAGES**

ISSUE: PERMIT SET

B.03



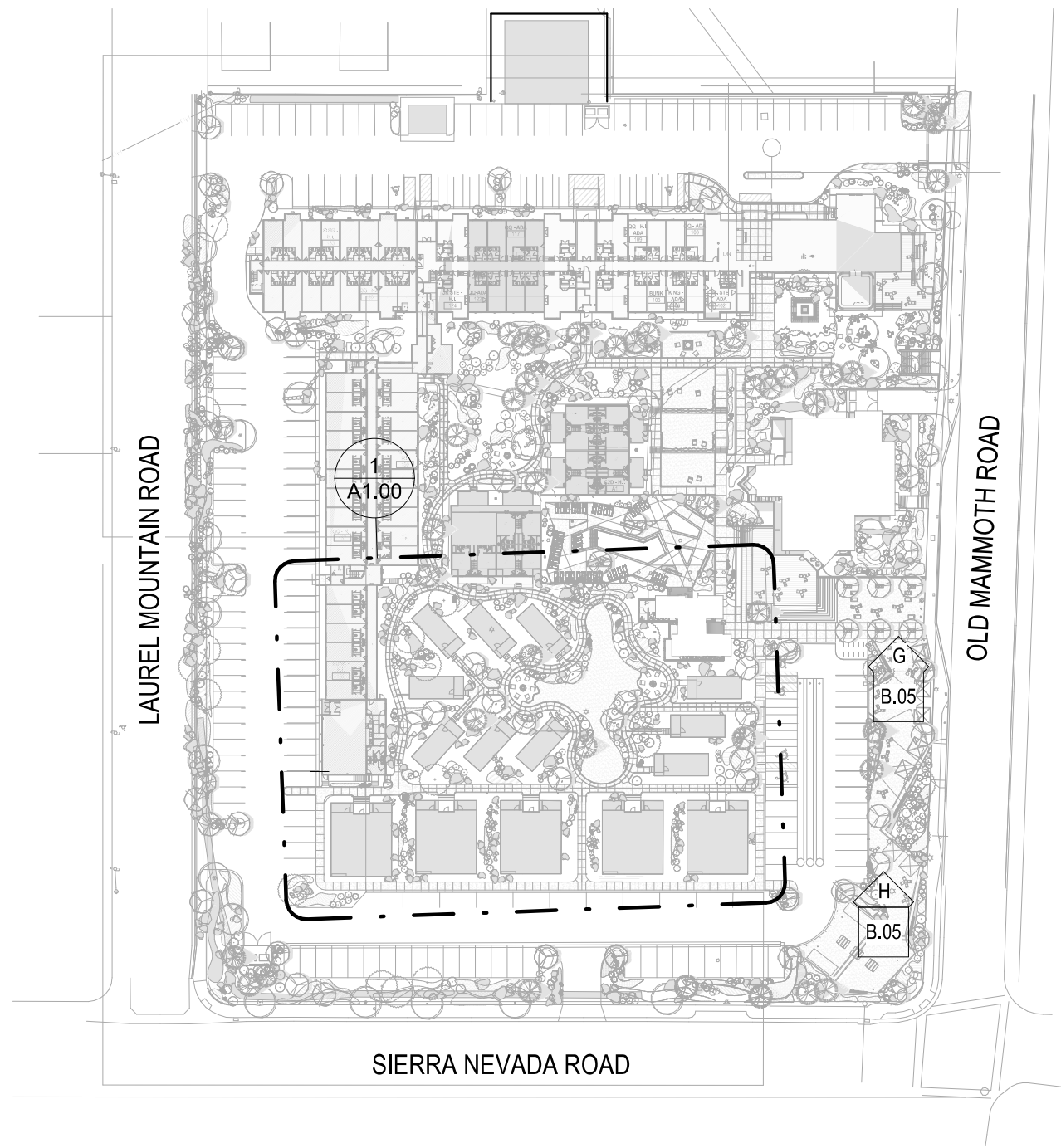
OPEN SPACE AT CABINS - LOOKING WEST

E
B.04



OPEN SPACE AT CABINS - LOOKING EAST

F
B.04



FOOD GARDEN AT RAFTERS RESTAURANT

G
B.05



FOOD GARDEN (SOUTH) LOOKING NORTH

H
B.05



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DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

SHEET DATE: 01/06/22
REVISIONS

DRAWN: LGN
CHECKED: BJP
PROJECT No. 2116

SHEET TITLE:
**PROJECT
PERSPECTIVES -
FOOD GARDEN**

ISSUE: PERMIT SET



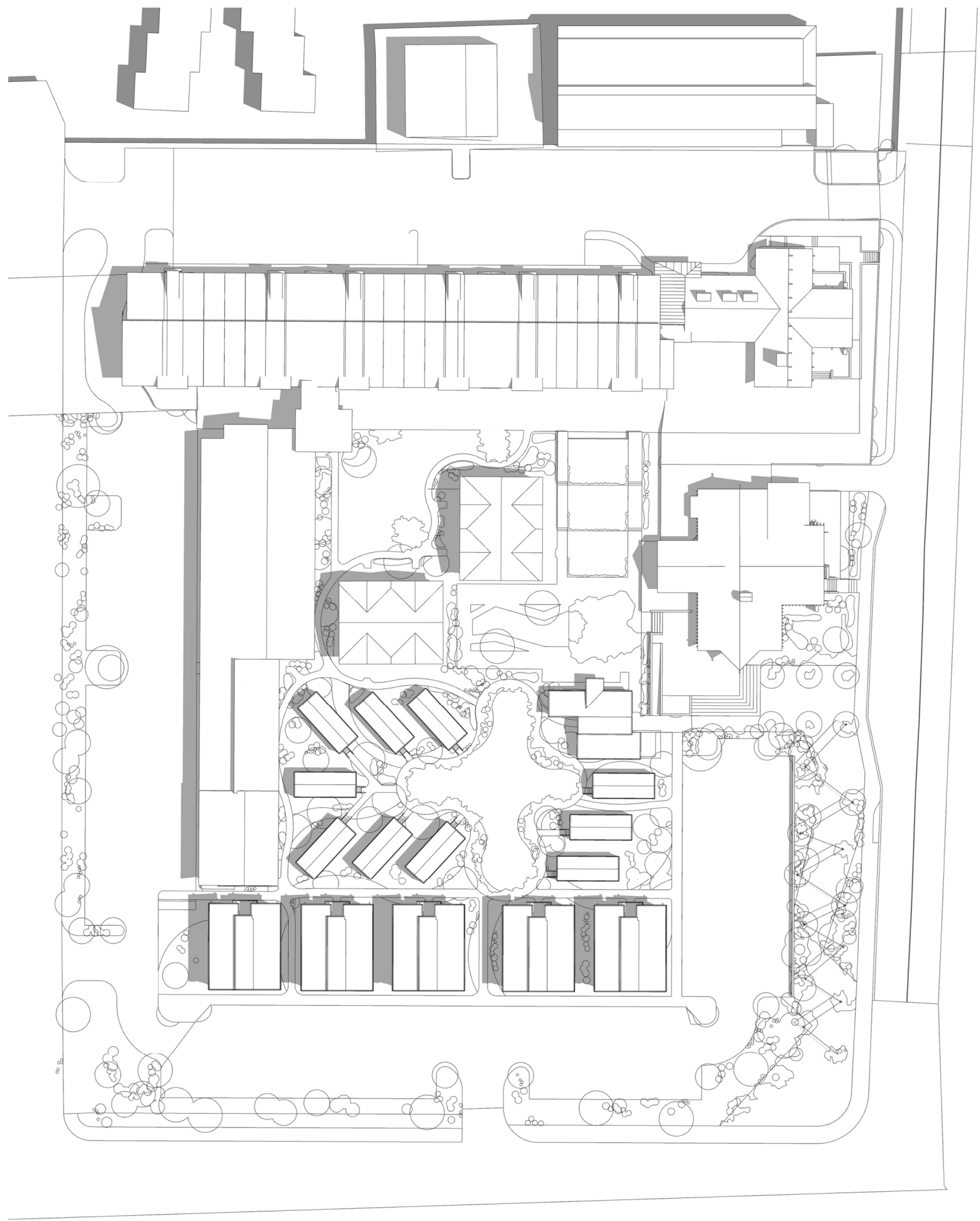
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DESIGN REVIEW RESUBMITTAL 01/28/2022

SHEET DATE: 01/06/22
REVISIONS

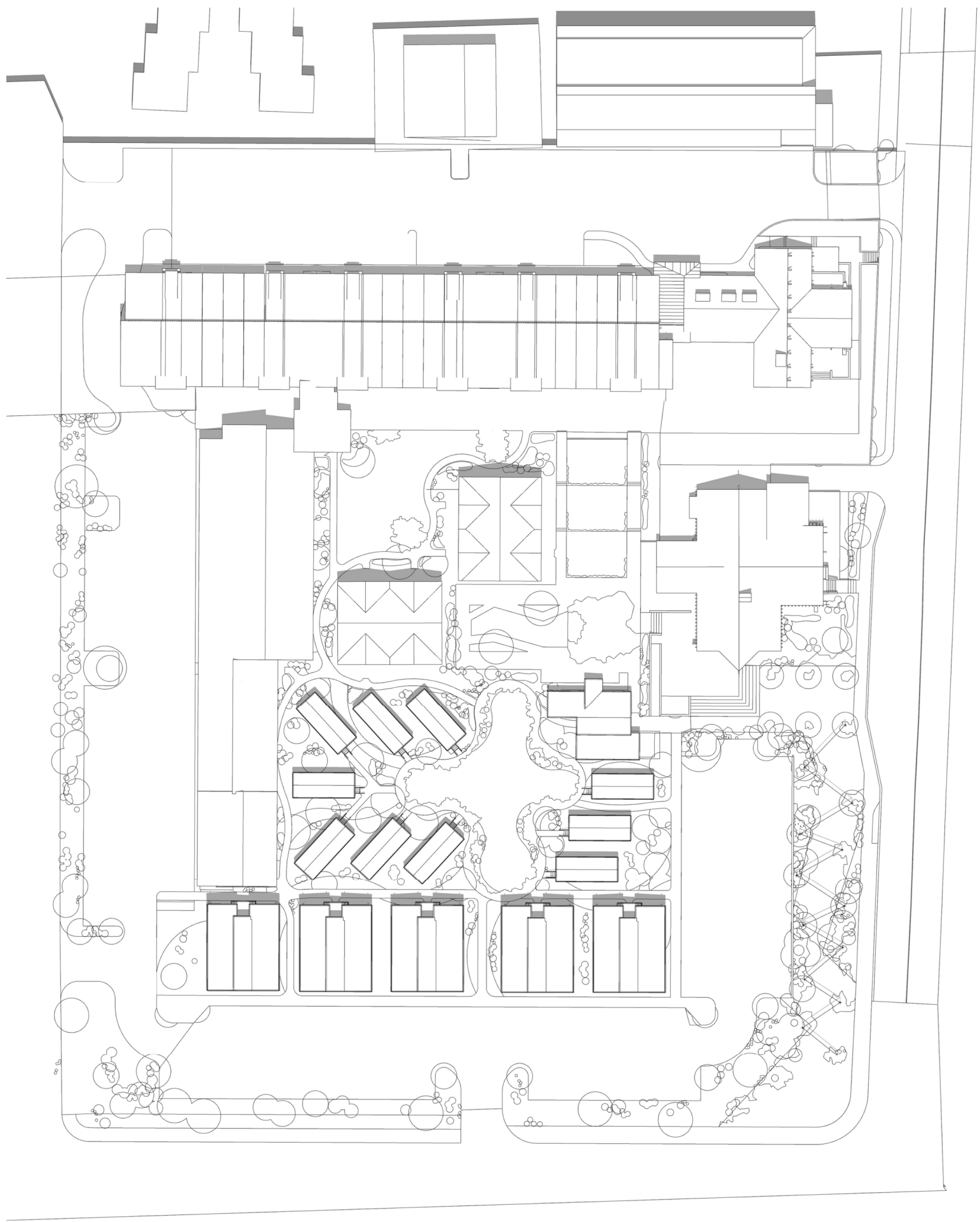
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CHECKED: BJP
PROJECT No. 2116

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SHADOW STUDIES

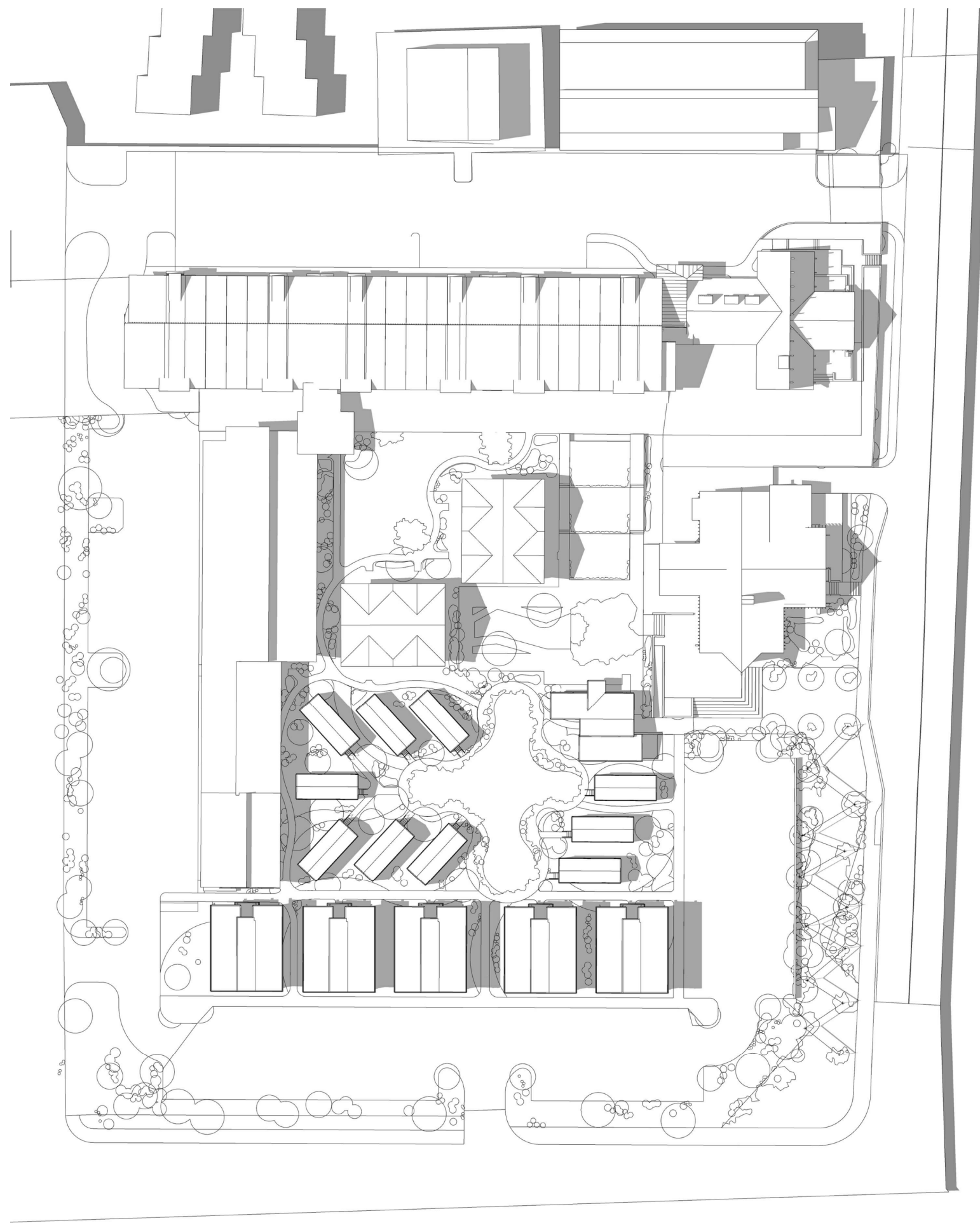
ISSUE: PERMIT SET



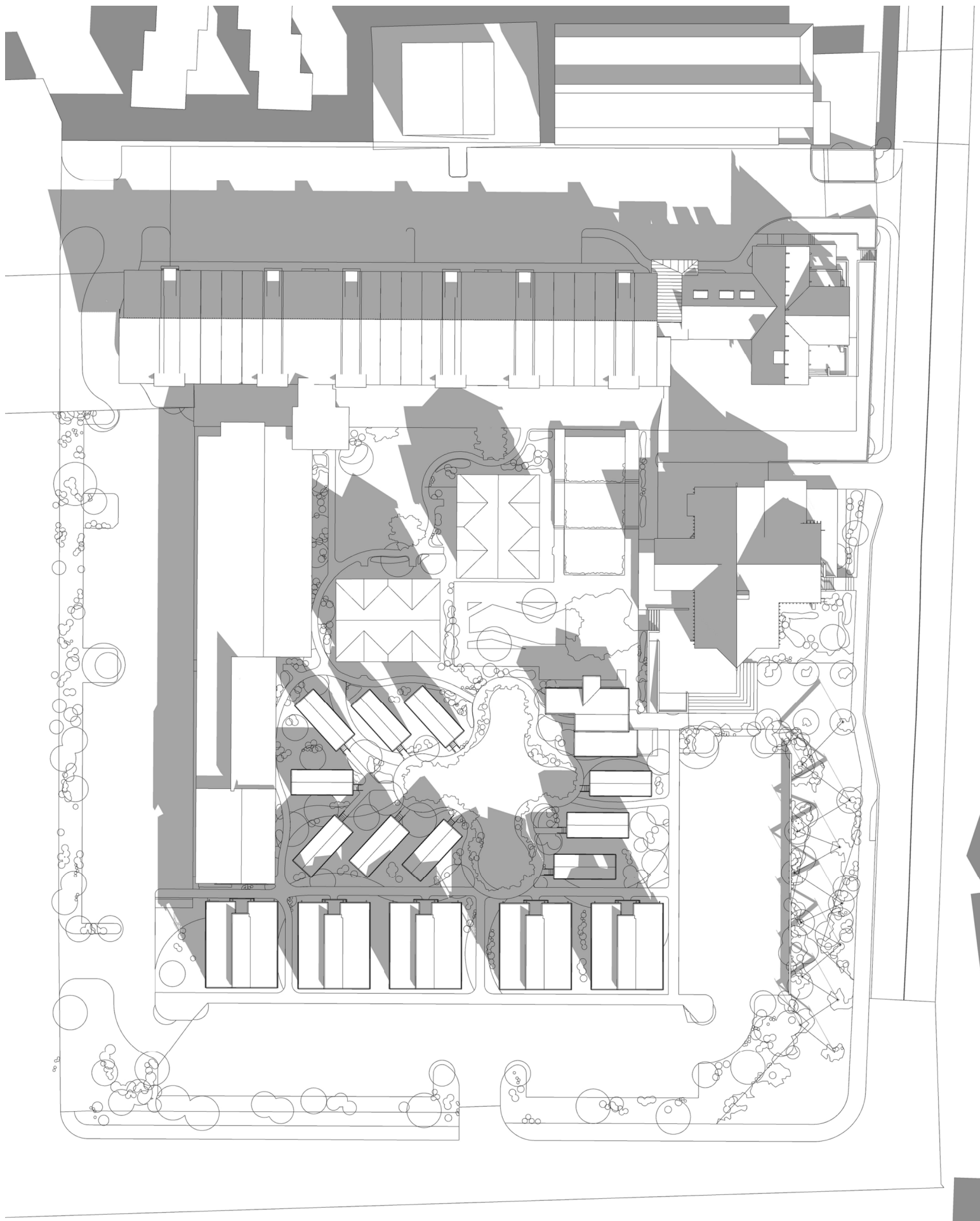
SUMMER SOLSTICE- 10 AM



SUMMER SOLSTICE - 12 PM



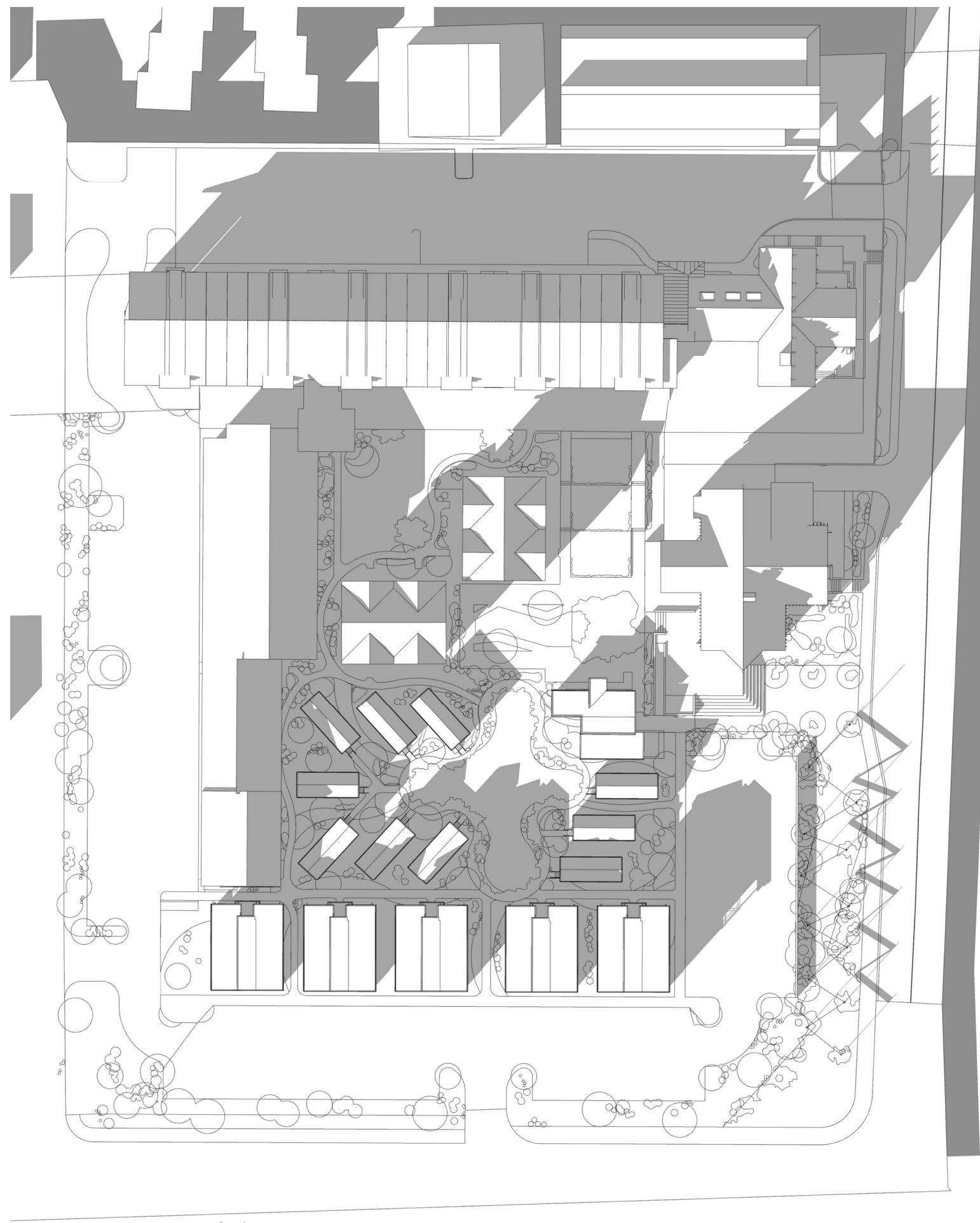
SUMMER SOLSTICE - 15 PM



WINTER SOLSTICE- 10 AM



WINTER SOLSTICE - 12 PM



WINTER SOLSTICE - 15 PM





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DESIGN REVIEW RESUBMITTAL 01/28/2022

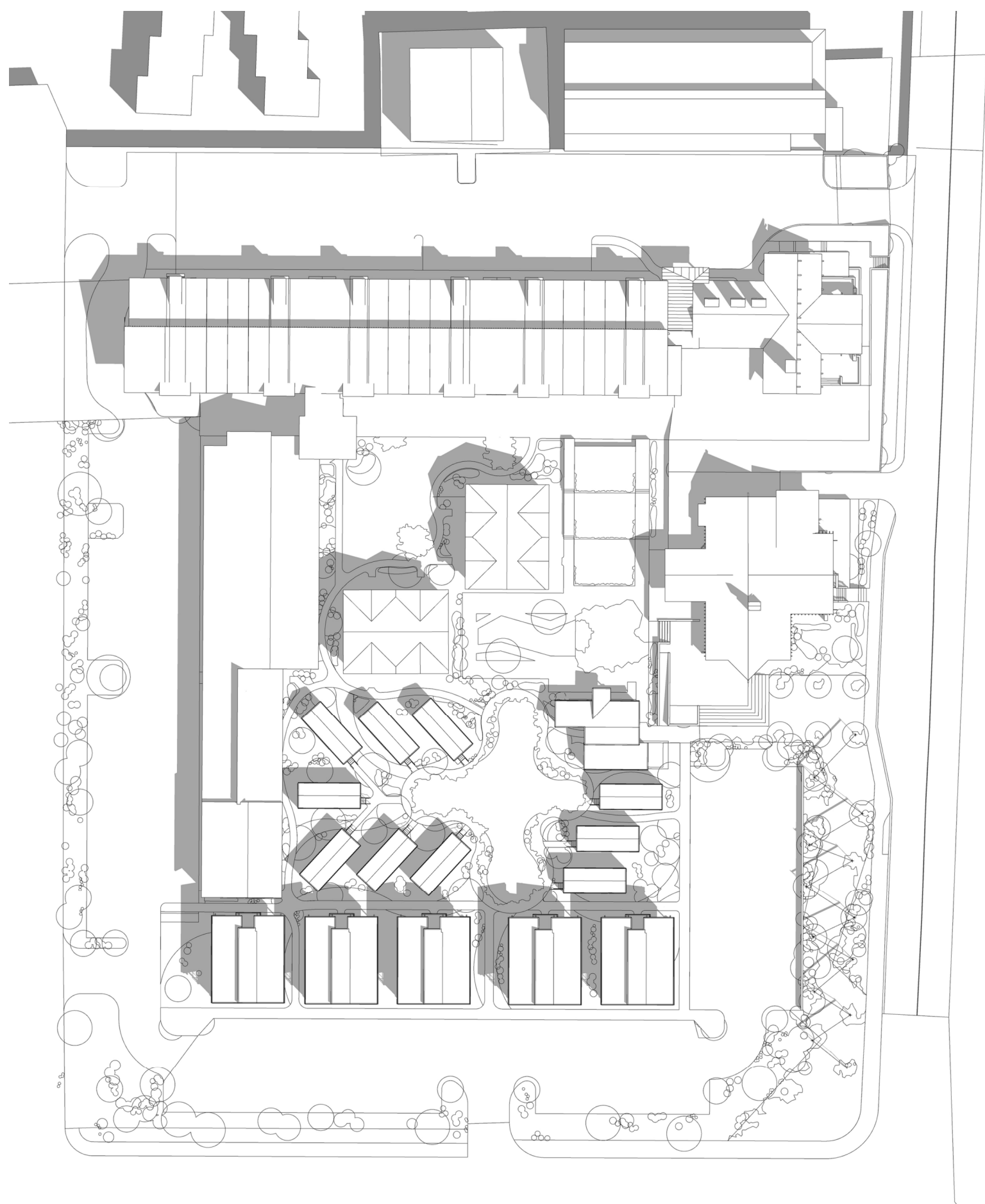
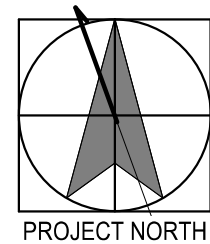
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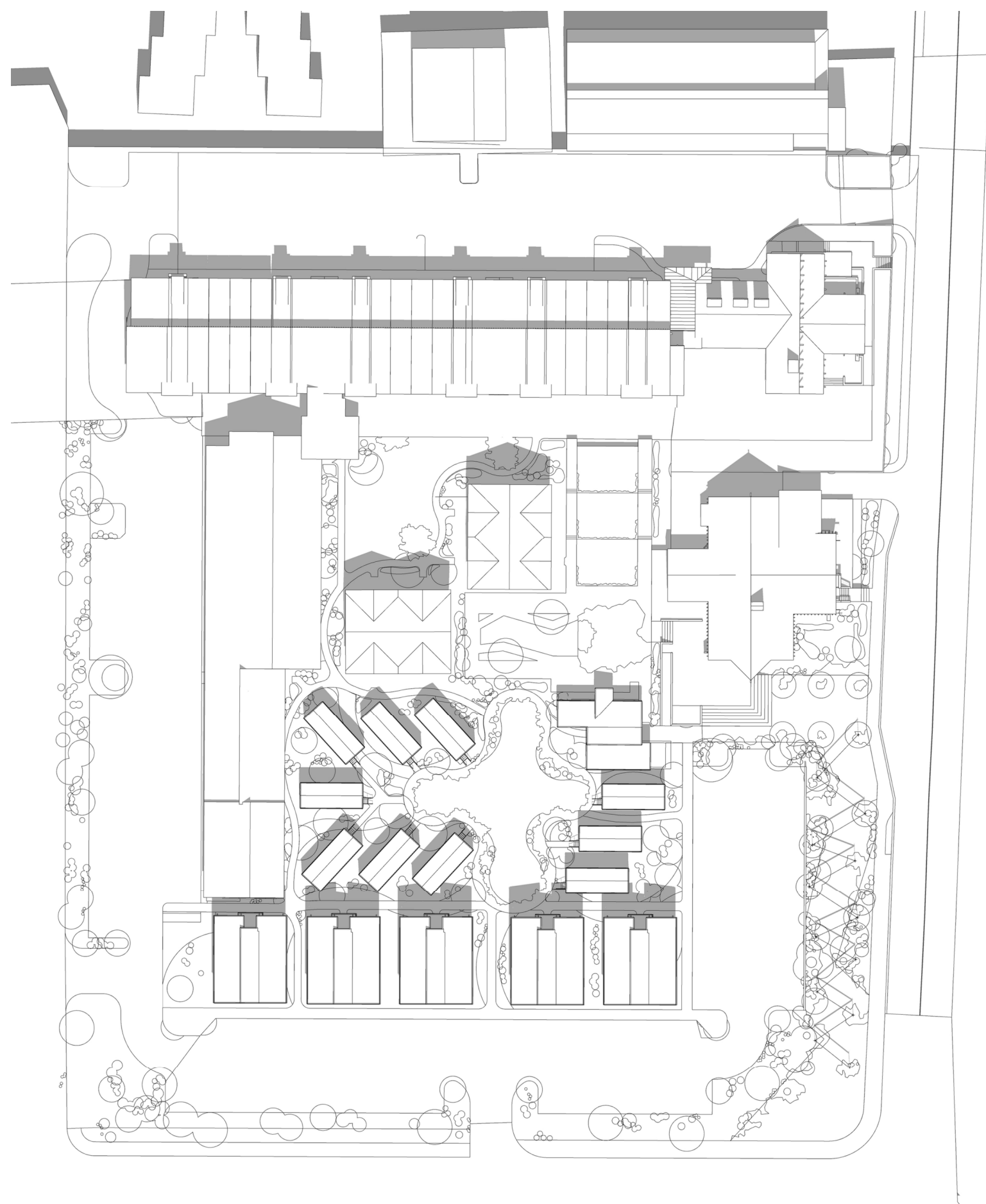
SHEET TITLE:
SHADOW STUDIES

ISSUE: PERMIT SET

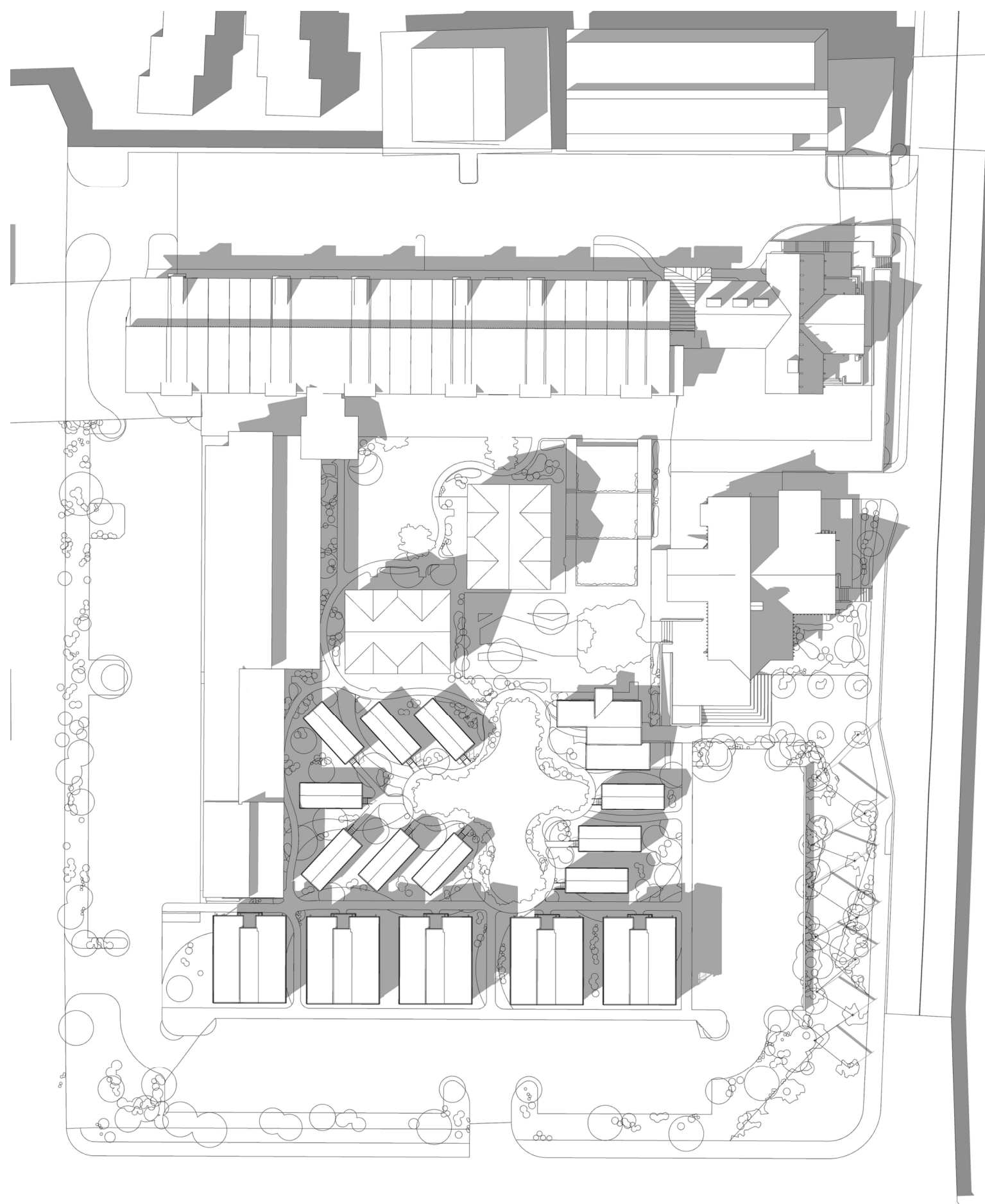
B.06a



SPRING EQUINOX - 10 AM



SPRING EQUINOX - 12 PM



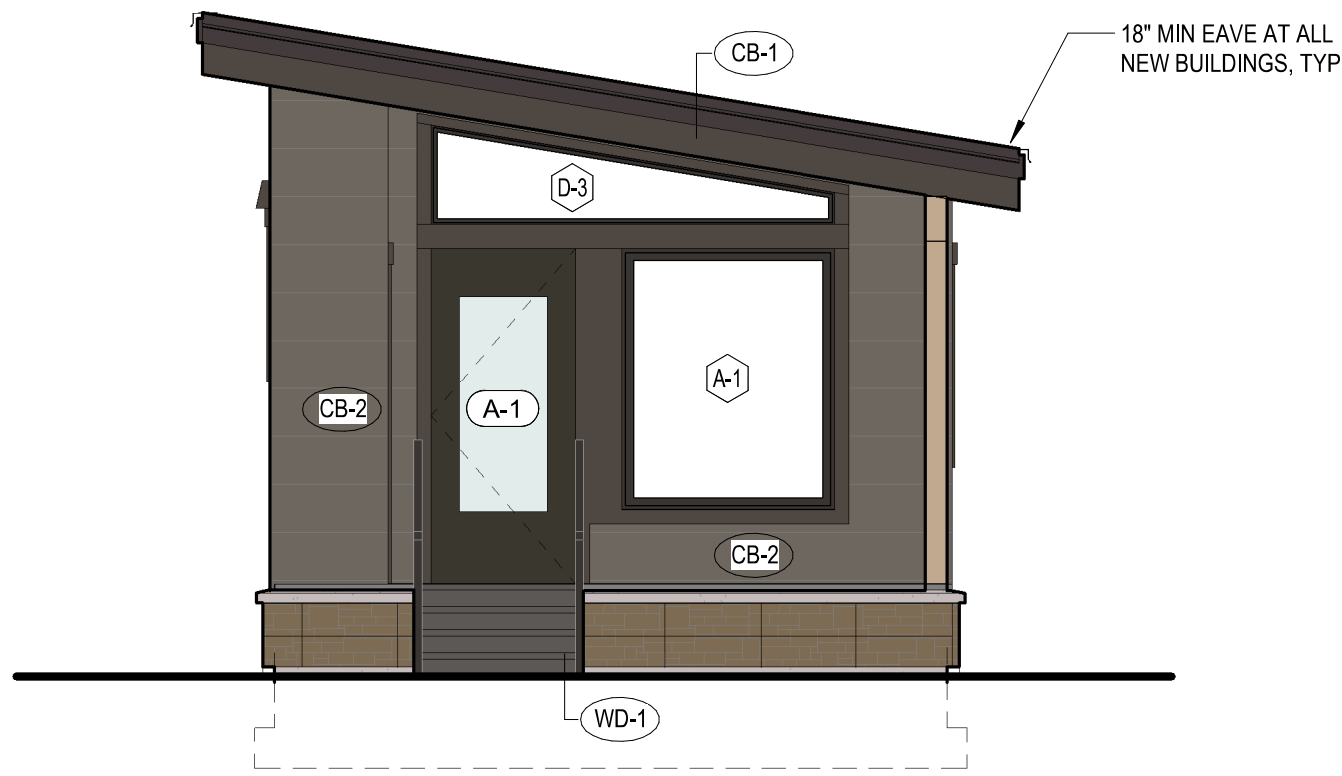
SPRING EQUINOX - 15 PM



NEW / PROPOSED BUILDING - VILLAS (FRONT) 3
SCALE: 1/4" = 1'-0"
B.07



NEW / PROPOSED BUILDING - VILLAS (SIDE) 4
SCALE: 1/4" = 1'-0"
B.07



NEW / PROPOSED BUILDINGS - CABINS 2
SCALE: 1/4" = 1'-0"
B.07

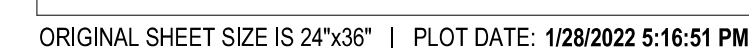
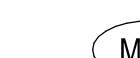
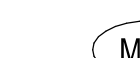


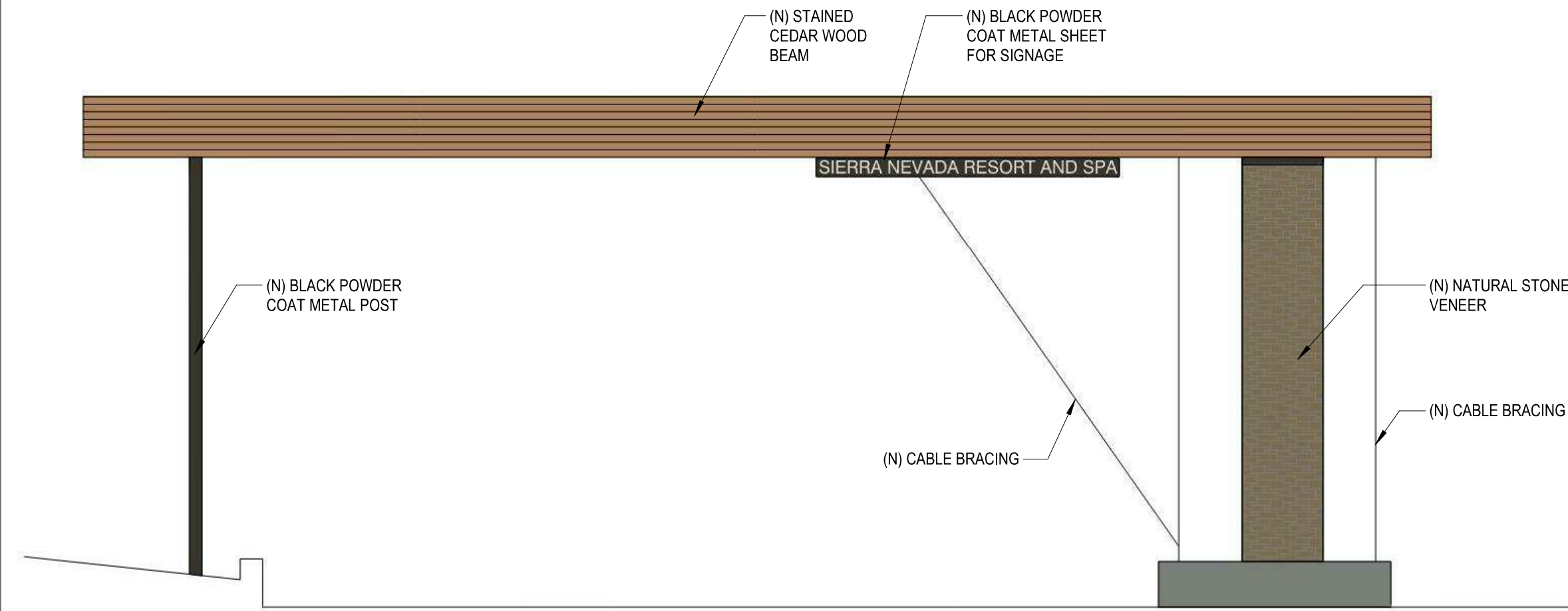
NEW / PROPOSED BUILDING - CABANA 1
SCALE: 1/4" = 1'-0"
B.07

PT-B1	EXISTING SIDING (REPAINT) SHERWIN WILLIAMS SW XXXX - TBD (MATCH WD-2 / CB-4)	PT-G1	EXISTING SIDING (REPAINT) SHERWIN WILLIAMS SW XXXX - TBD (MATCH CB-1 WOODTONE STONE GREY)	CB-4	CEMENT BOARD LAP SIDING WOODTONE - RUSTIC LAP IN "SUMMER WHEAT"	CB-1	CEMENT BOARD PANEL SHERWIN WILLIAMS SW 7020 BLACK FOX OR SIM	CB-2	CEMENT BOARD LAP SIDING WOODTONE - RUSTIC LAP IN "RIVER ROCK"	WD-2	CEDAR LAP SIDING CEDAR NICKEL GAP T&G, STAIN TBD	SV-1	STONE VENEER CERTAINTED STONEFACADE - "HARBOR SUNSET"	WN-1	WINDOW MARVIN ESSENTIAL IN "BRONZE"	MS-1	METAL - CAP / FLASHING KYNAR, DARK BRONZE	MS-2	METAL ROOFING BOARD & BATTEN KYNAR, DARK BRONZE
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EXISTING BUILDING - HOTEL (ENTRY PORTAL)

SCALE: 1/4" = 1'-0"

5

B.09

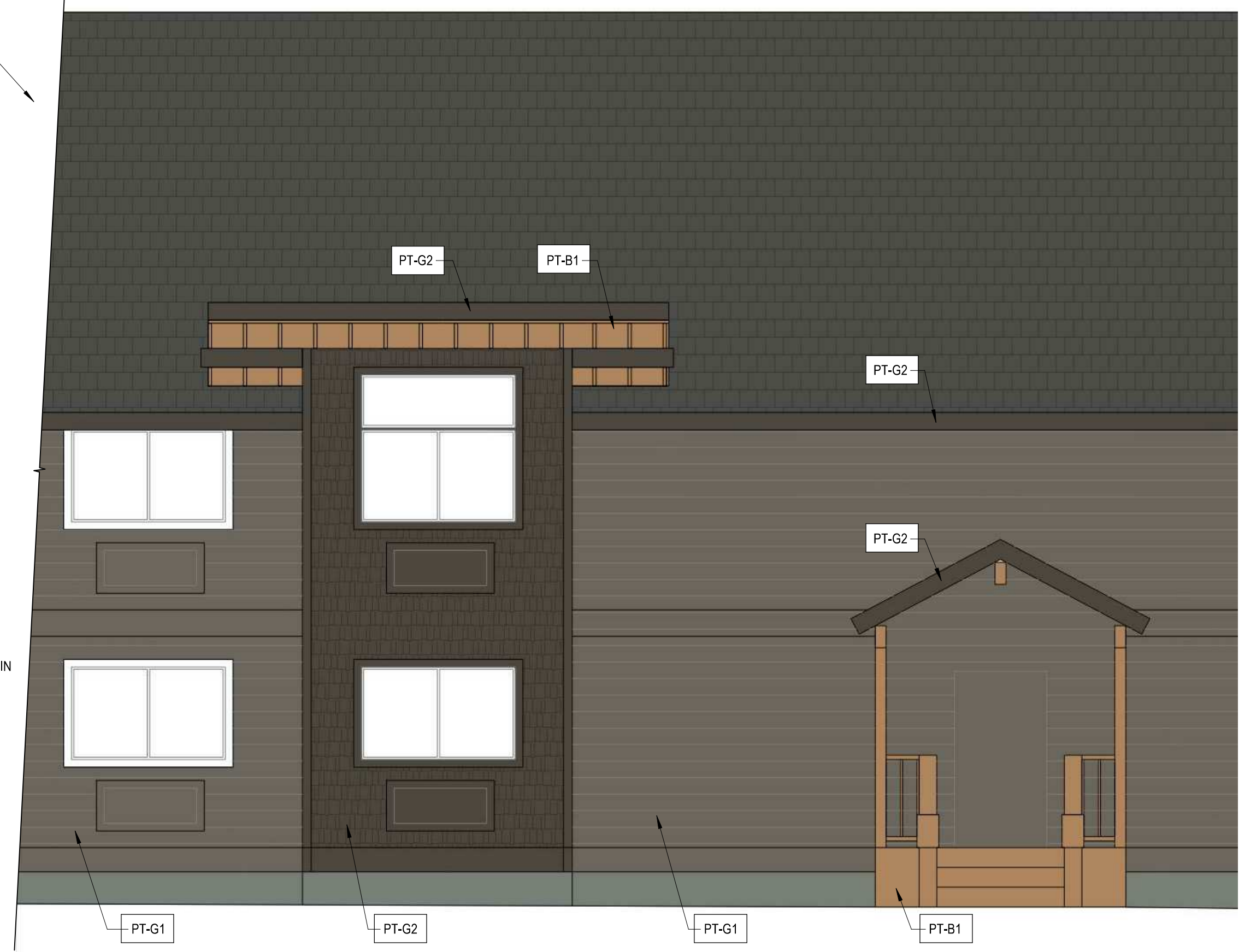


EXISTING BUILDING - HOTEL (WEST ELEVATION)

SCALE: 1/4" = 1'-0"

4

B.09



EXISTING BUILDING - HOTEL (SOUTH ELEVATION)

SCALE: 1/4" = 1'-0"

3

B.09



EXISTING BUILDING - HOTEL (NEW ENTRY)

SCALE: 1/4" = 1'-0"

2

B.09

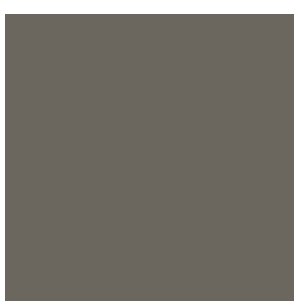


EXISTING BUILDING - HOTEL (EAST ELEVATION)

SCALE: 1/4" = 1'-0"

1

B.09

									
PT-B1 EXISTING SIDING (REPAINT) SHERWIN WILLIAMS SW XXXX - TBD (MATCH WD-2 / CB-4)	PT-G1 EXISTING SIDING (REPAINT) SHERWIN WILLIAMS SW XXXX - TBD (MATCH CB-1 WOODTONE STONE GREY)	CB-4 CEMENT BOARD LAP SIDING WOODTONE - RUSTIC LAP IN "SUMMER WHEAT"	CB-1 CEMENT BOARD PANEL SHERWIN WILLIAMS SW 7020 BLACK FOX OR SIM	CB-2 CEMENT BOARD LAP SIDING WOODTONE - RUSTIC LAP IN "RIVER ROCK"	WD-2 CEDAR LAP SIDING CEDAR NICKEL GAP T&G, STAIN TBD	SV-1 STONE VENEER CERTAINTED STONEFACADE - "HARBOR SUNSET"	WN-1 WINDOW MARVIN ESSENTIAL IN "BRONZE"	MS-1 METAL - CAP / FLASHING KYNAR, DARK BRONZE	MS-2 METAL ROOFING BOARD & BATTEN KYNAR, DARK BRONZE

DIVISION: 04 00 00 MASONRY
Section: 04 73 00 Manufactured Stone Masonry

REPORT HOLDER:
CERTAINTEED LLC
20 Moores Road
Malvern, PA 19355
www.certainteed.com

REPORT SUBJECT:
STONEfaçade™ Exterior Wall Covering

1.0 SCOPE OF EVALUATION

1.1 This Research Report addresses compliance with the following Codes:

- 2018, 2015 *International Building Code*® (IBC)
- 2018, 2015 *International Residential Code*® (IRC)
- 2020 *Florida Building Code* (FBC) excluding HVHZ (See Section 9.0.)

NOTE: This report references 2018 IBC sections with 2015 IBC and FBC sections shown in brackets where they differ.

1.2 CertainTeed's STONEfaçade™ has been evaluated for the following properties:

- Strength
- Durability
- Combustibility
- Surface Burning Characteristics
- Weather Protection
- Wind Resistance

1.3 CertainTeed's STONEfaçade™ has been evaluated for the following uses:

- Use as an exterior wall covering in accordance with IBC Section 1402 [1403], 1403 [1404] and IRC Section R703.
- Use on exterior walls of Type V construction.
- Use as an interior wall finishes IBC Section 803 and IRC Section R302.9

2.0 STATEMENT OF COMPLIANCE

CertainTeed's STONEfaçade™ complies with the Codes listed in Section 1.1, for the properties stated in Section 1.2 and uses stated in Section 1.3, when installed as described in this report, including the Conditions of Use stated in Section 6.0.

3.0 DESCRIPTION

3.1 STONEfaçade™ is a pre-cast concrete and galvanized or stainless-steel panel that simulates natural stone. The concrete is cast with an integrated galvanized or stainless steel rain screen insert creating the exterior facade panels. The façade is produced in three lengths 10", 14" and 24". All panels are 8" in height. The thickness of panels varies based on stone profile from 1 inch to 2.38 inch. See Figure 1, 2, 3 and 4 for details.

3.2 Galvanized or stainless steel rain screen Inserts have pre-drilled holes on the top flange of each panel spaced at 1" to attach to exterior walls.

3.3 Galvanized or stainless steel starter strips are used at the first course of installed panels. See Figure 4.

3.3 Corner panels, light boxes, electrical boxes and sills are additional details used to finish the exterior and also simulate natural stone.

4.0 PERFORMANCE CHARACTERISTICS

4.1 Density: The average density of the panel concrete is 90 lb/ft³ determined in accordance with ASTM C567.

4.2 Durability: The panels met the conditions of acceptance after 50 cycles of freeze-thaw in accordance with Section 4.2 of AC51.

4.3 Weight: The saturated weight of the panels is 12.6 pounds per square foot determined in accordance with Section 4.1 of AC51.



545 E. Algonquin Road • Arlington Heights • Illinois • 60005
intertek.com/building



Version: 21 December 2017

SFT-CCRR-OP-40b

TESTING DATA
TESTED FOR ACCEPTANCE AFTER 50 CYCLES OF FREEZE-THAW PER ICC-ES AC51 - ADHERED MANUFACTURED STONE MASONRY VENEER
https://www.certainteed.com/resources/STONEfaçade_CCRR-0259_Report_0118.pdf

<https://www.intertek.com/building/cladding/>
https://bpdirectory.intertek.com/pages/DLP_Search.aspx
<https://specdirect.intertek.com/controls/SDDocumentViewer.aspx?ccrr=CCRR-0259>

Great features for lasting beauty



3/8" Rainscreen

Fully-integrated rainscreen

A 3/8" steel insert embedded into each panel allows top-to-bottom drainage that protects walls from moisture build-up, and reduces the potential for moisture-related issues.

Avoid moisture issues and unwanted call backs



STONEfaçade is the only product on the market that has a true integrated rainscreen. That's essential because moisture intrusion on the exterior wall is one of the leading reasons for wall assembly failure – and costly call backs. Our integrated rainscreen is designed to allow adequate airflow behind the panel. This promotes drying and helps eliminate potential moisture issues like mold and mildew within the wall cavity.



Patented Technology

Patented technology

Fully-integrated rainscreen, and a fastening flange that is designed to provide ease of installation.

Beveled perimeter

Improves overall fit and finish for an uninterrupted appearance along the length of the wall.



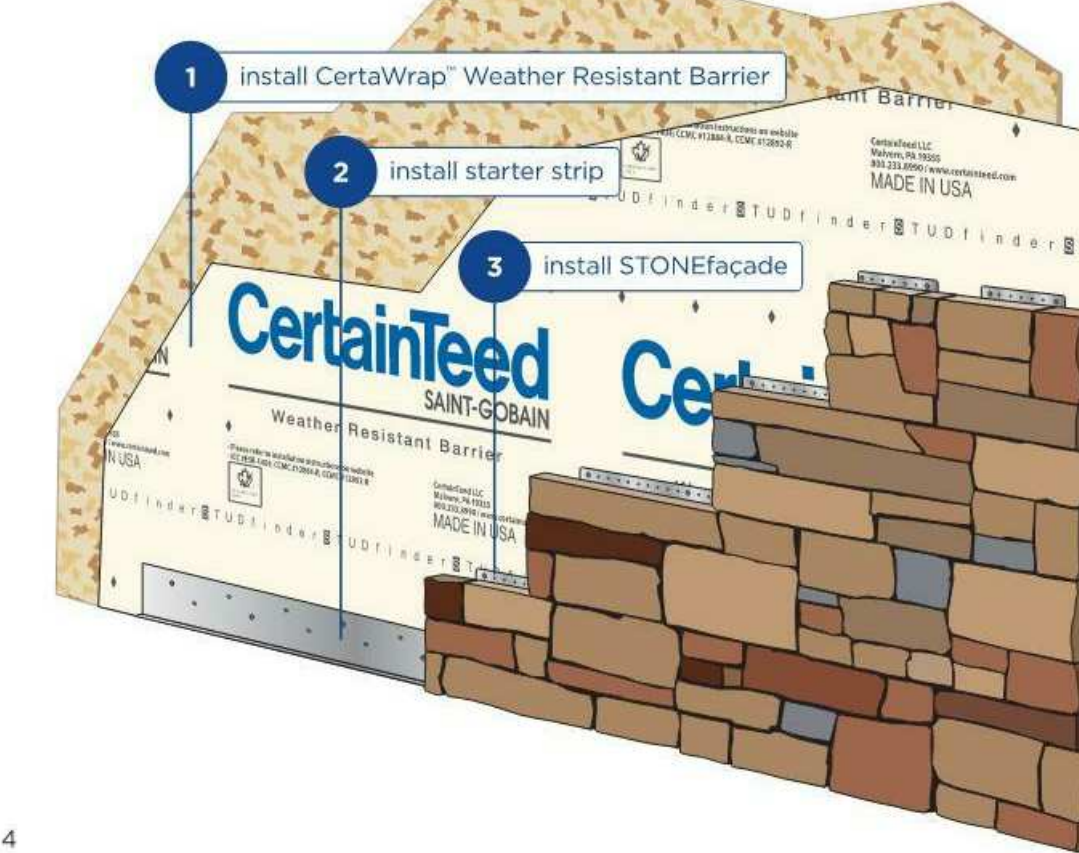
Less room for error Installs in cold weather

Traditional masonry must be installed in temperatures above 40°F to avoid the risks of mortar and grout failure. With STONEfaçade, there's no mortar involved, so installations can go on when temperatures drop.

only 3 steps vs Traditional masonry veneer installation

CertainTeed STONEfaçade installs SIX TIMES faster than traditional stone, helping your customers get to the next job faster.

Approximately one square of traditional masonry can be installed per day – and it can take multiple days to complete a job. Three to four squares of STONEfaçade can be installed in a single day, keeping crews productive.



1. Install weep screen
2. Install a layer of WRB
3. Install another layer of WRB
4. Install lath
5. Apply mortar scratch coat
6. Apply mortar setting bed
7. Adhere masonry
8. Mortar joints

Exceptional looks and performance

STONEfaçade is an easy-to-install product that replicates the look and feel of real stone, and has been tested to withstand the industry's most stringent performance standards.

The look and feel of real stone



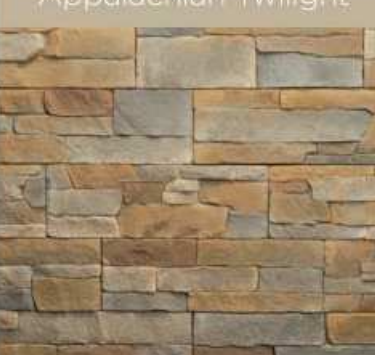
Colors

CertainTeed employs a unique hand-applied technique to give STONEfaçade products the infinite tonal variations of natural stone. The nature-inspired color options give your customer the freedom to create any design they can imagine. It will enhance any home – whether as an accenting kneewall, to add a distinctive touch around an entryway, or to highlight an architectural focal point.

Adirondack Snowfall



Appalachian Twilight



Pocono Autumn



Harbor Sunset



Selected by Hand

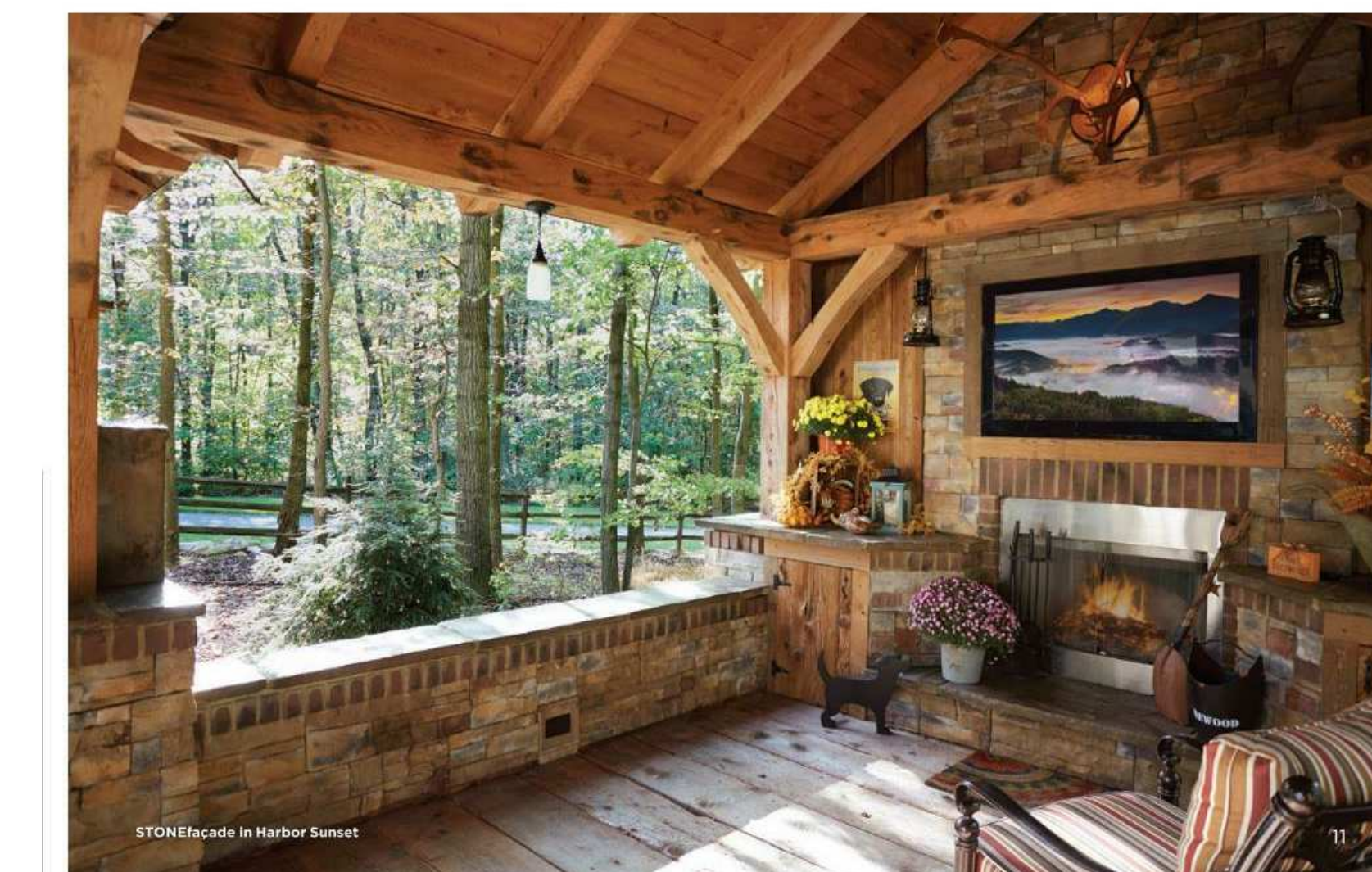
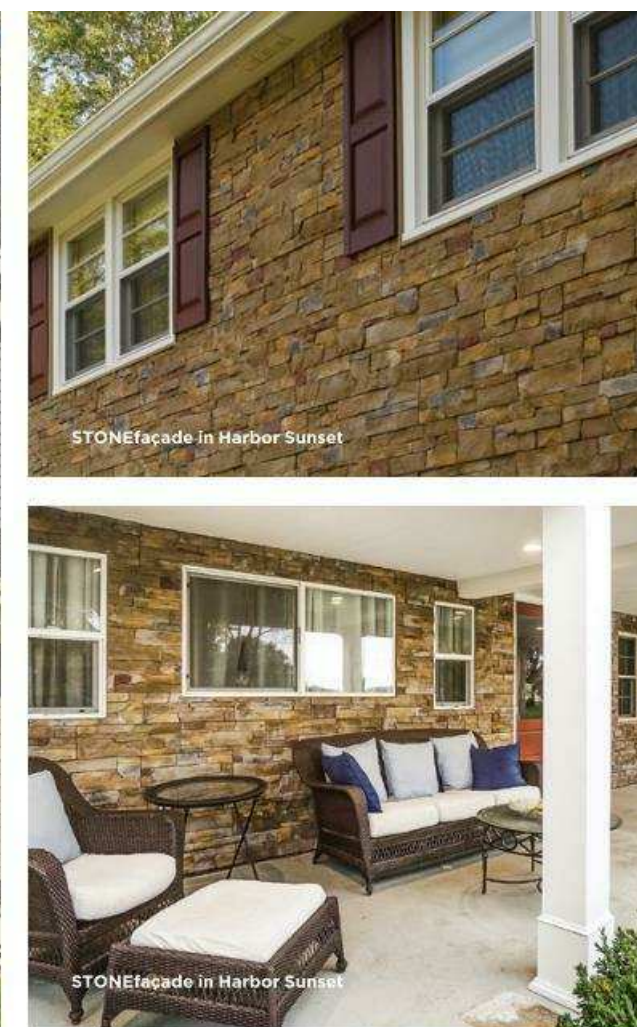
STONEfaçade is molded from natural stones that are individually selected and positioned by our craftsmen, creating panels that mimic the irregular patterns and variegated colors of hand-laid stone. STONEfaçade covers over 110 square feet without a repeat.

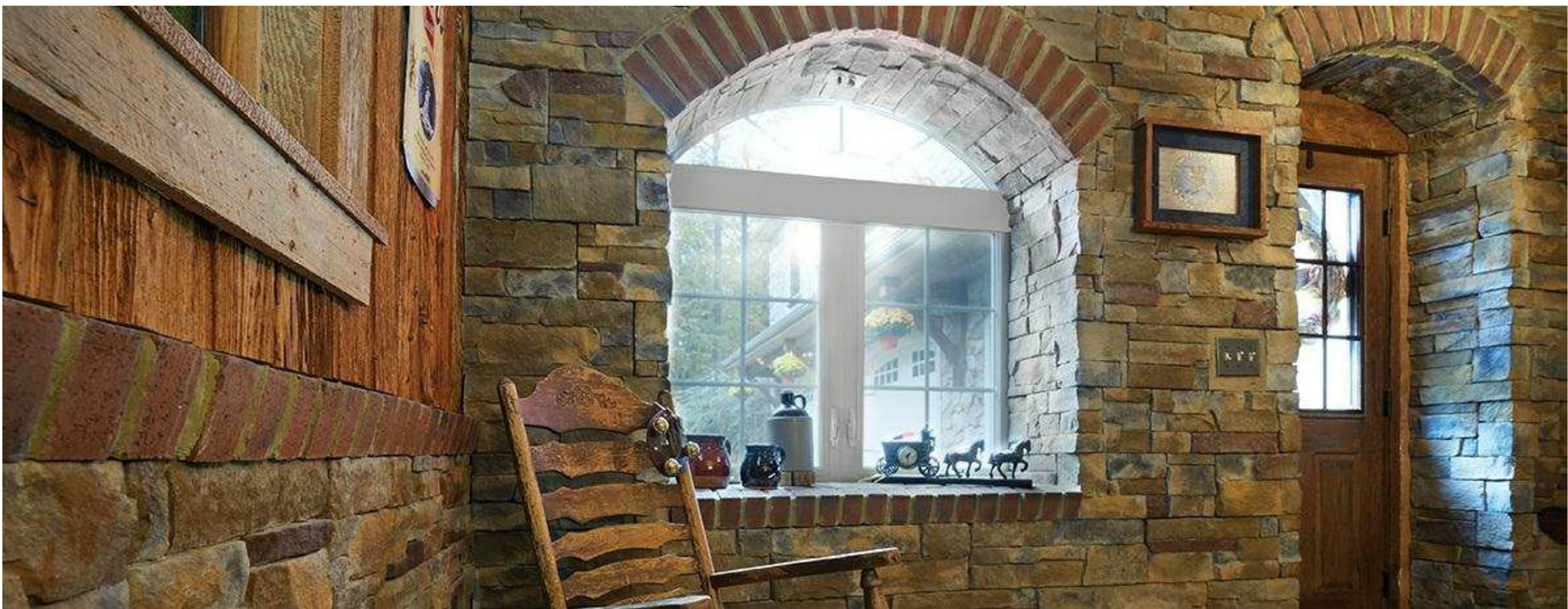


One-of-a-Kind

No other stone veneer product offers the features and benefits of STONEfaçade: fully-integrated rainscreen, screw-in-place mortarless installation, unique panel configurations, and a full complement of matching accessories that includes sills, corners, and electrical and light boxes.

Panel height is 8" and either 10", 14" or 24" in width, so they're easy to handle. The assorted panel lengths minimize the panelized appearance on the wall.

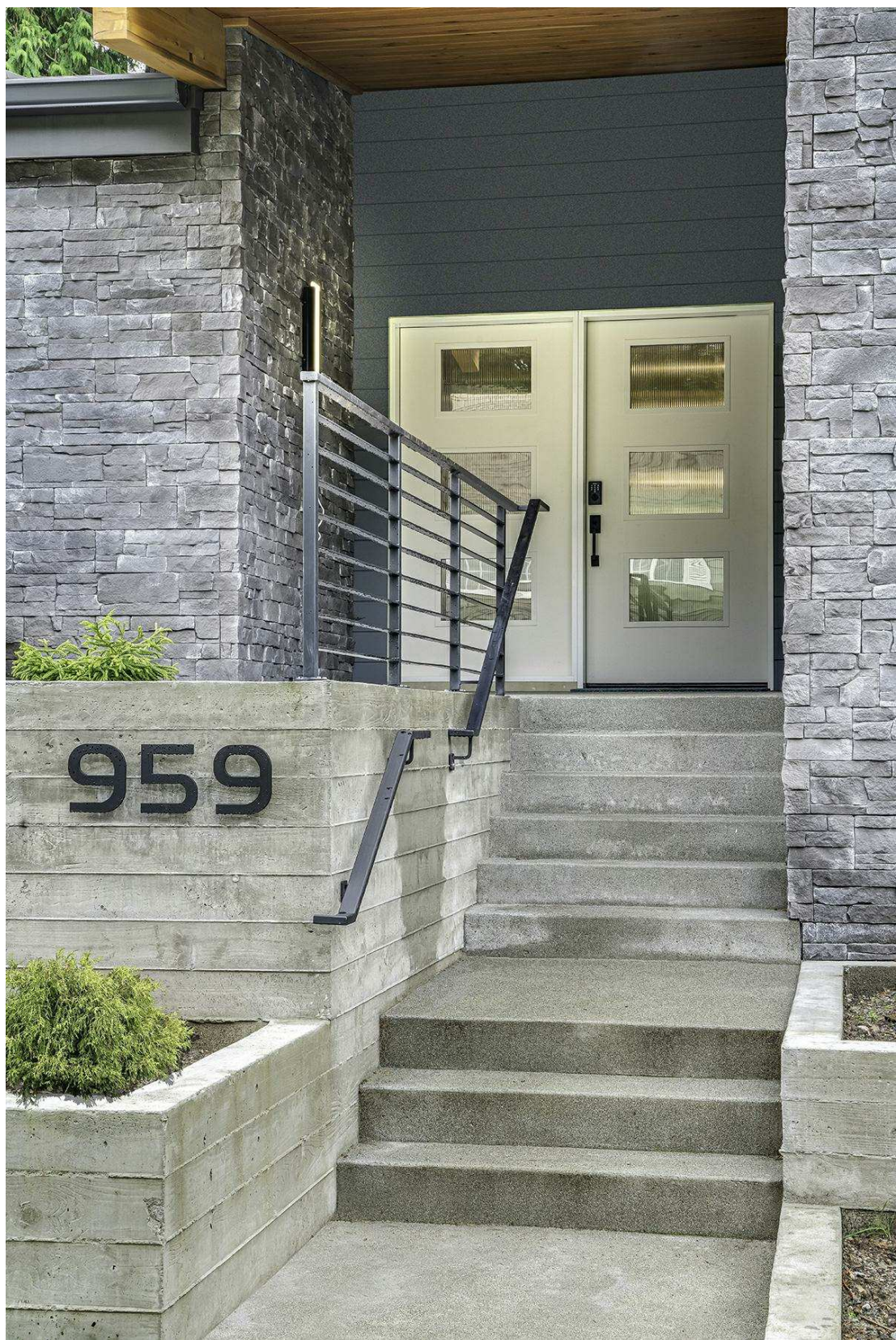




EXAMPLE INSTALLATION. CERTAINTED STONE FACADE, COLOR: HARBOR SUNSET. PROPOSED COLOR.

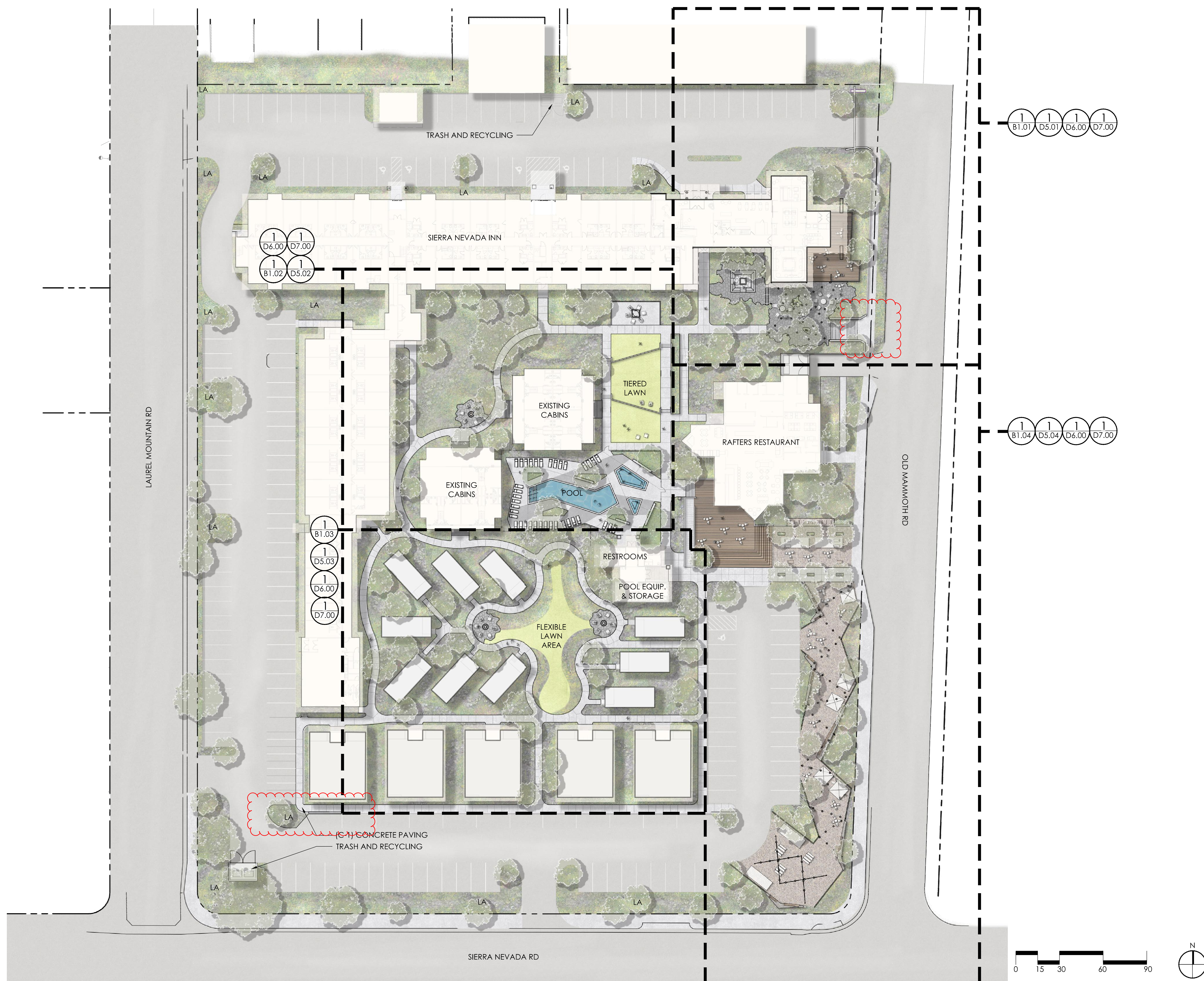


EXISTING STONE VENEER ACCENTS AT SIERRA NEVADA RESORT



EXAMPLE PROJECT IMAGES. CERTAINTED STONE FACADE. COLOR: ADIRONDACK SNOWFALL







SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

SHEET DATE: 11/17/21
REVISIONS

DRAWN: DO, MP
CHECKED: JS
PROJECT No. 2116

SHEET TITLE:
**HOTEL
COURTYARD SITE
PLAN
ENLARGEMENT**
ISSUE: DESIGN REVIEW SUBMITTAL

B1.01



SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

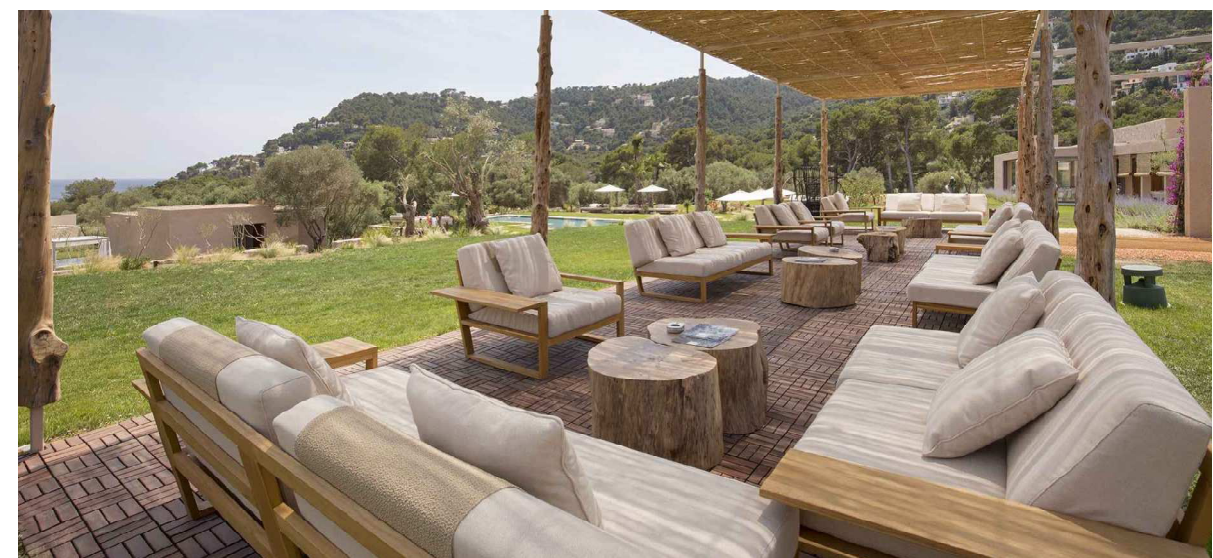
SHEET DATE: 11/17/21
REVISIONS

DRAWN: DO, MP
CHECKED: JS
PROJECT No. 2116

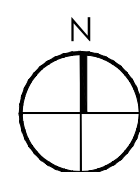
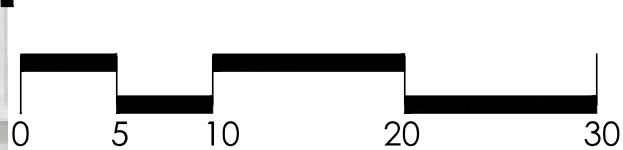
SHEET TITLE:
**INNER
COURTYARD SITE
PLAN
ENLARGEMENT**

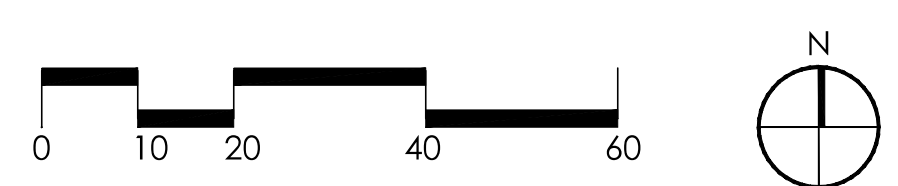
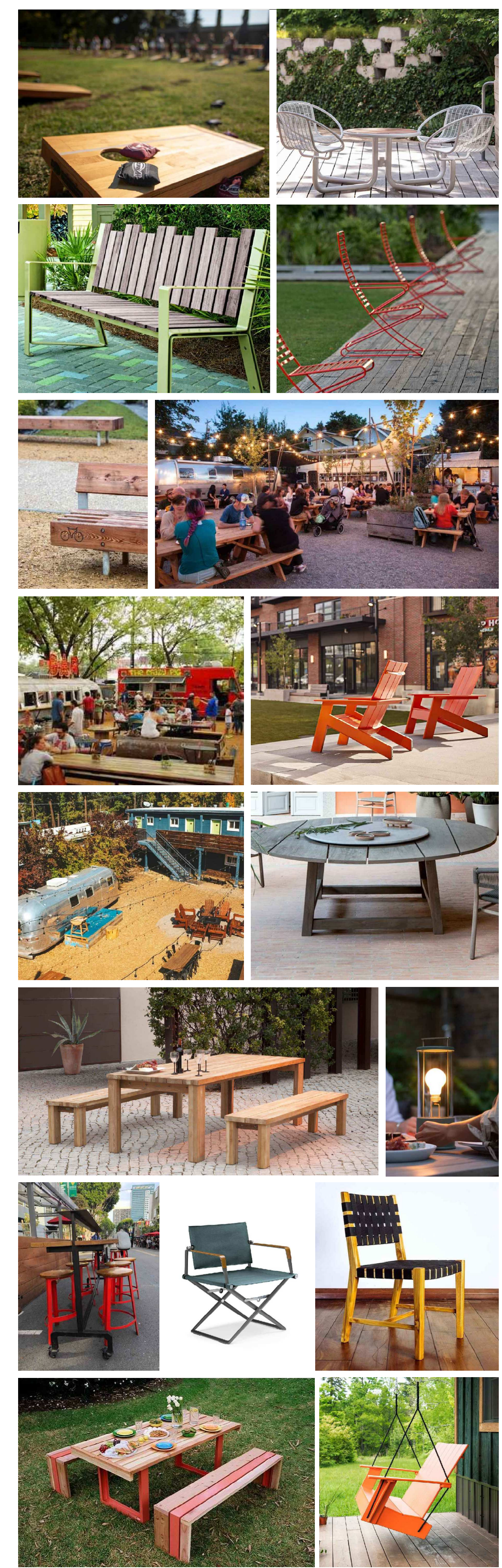
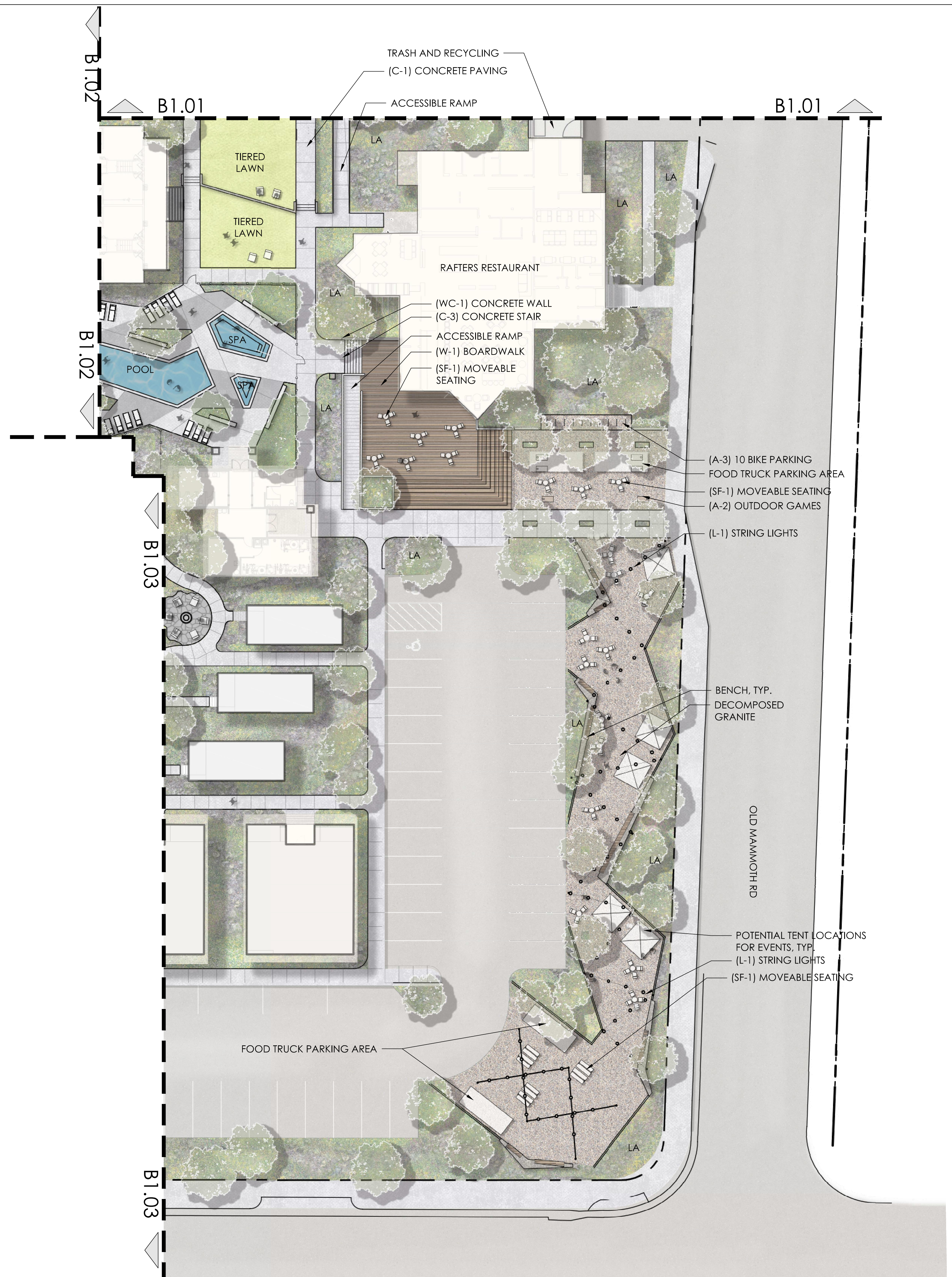
ISSUE: DESIGN REVIEW SUBMITTAL

B1.02



B1.04





SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

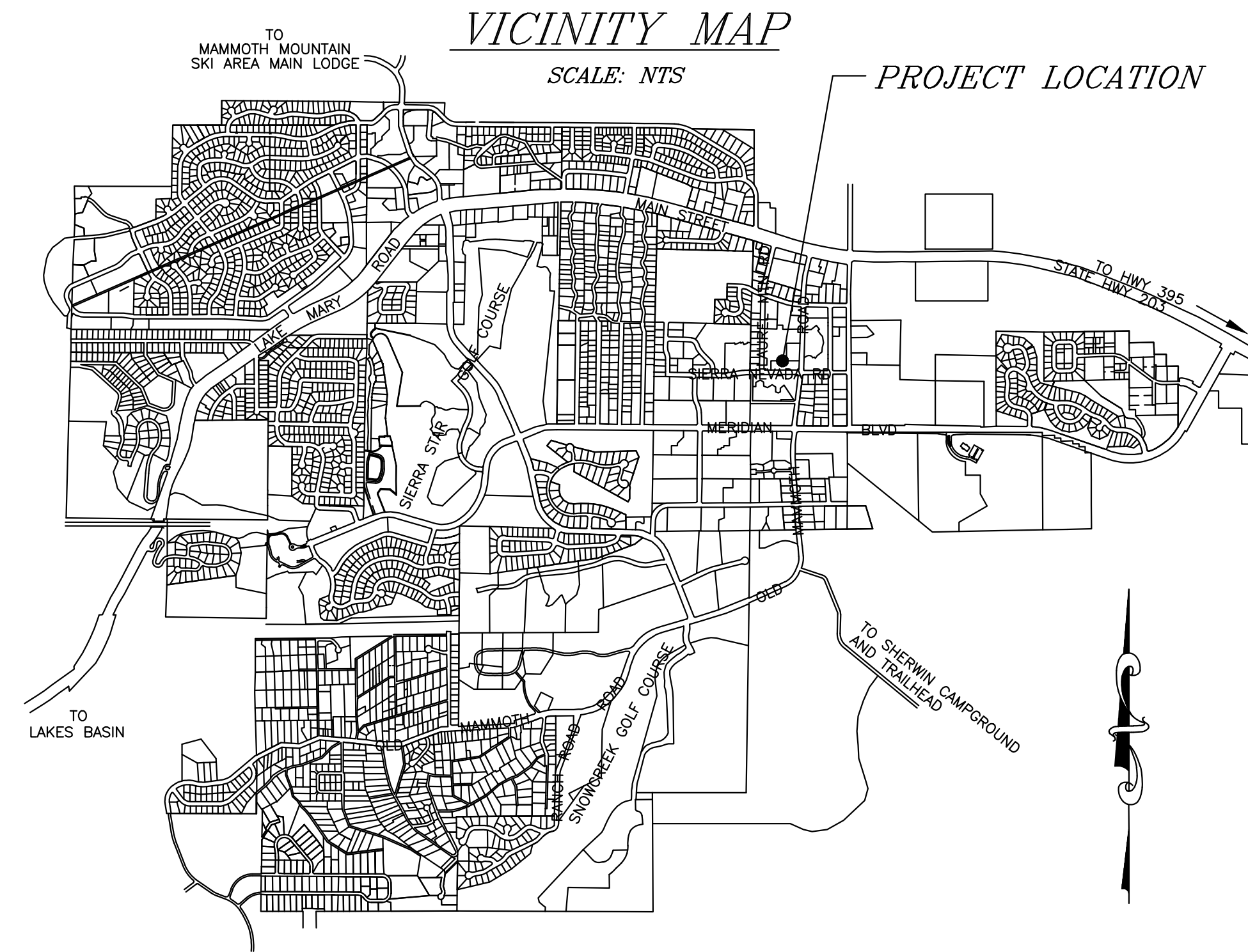
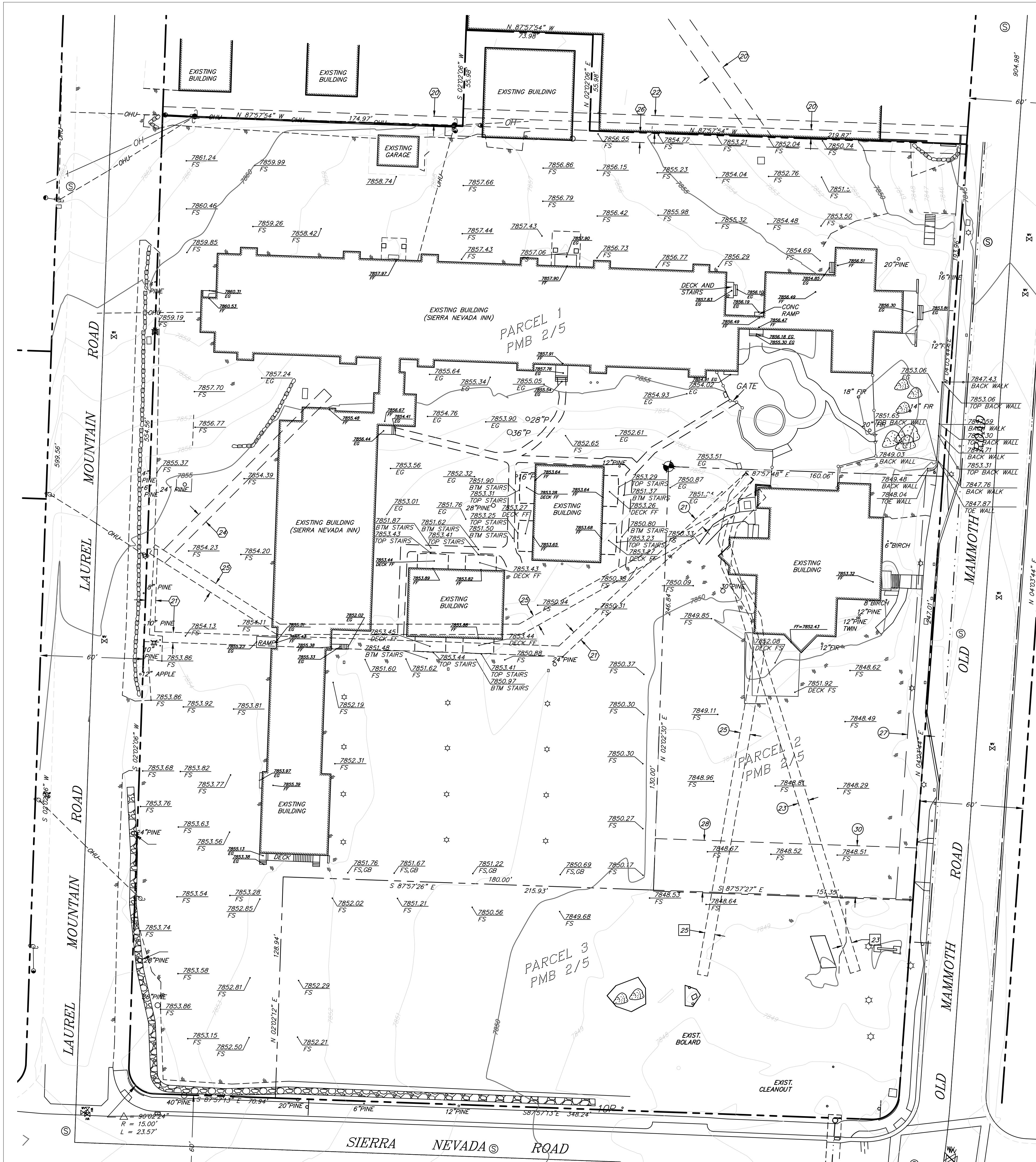
SHEET DATE: 11/17/21
REVISIONS

DRAWN: DO, MP
CHECKED: JS
PROJECT No. 2116

SHEET TITLE:
**FOOD
COURTYARD
SITE PLAN
ENLARGEMENT**
ISSUE: DESIGN REVIEW SUBMITTAL

B1.04

Z:\01 Mammoth\2740-3 SNI waterion\CAD\2740.3 Site Improvements.dwg Jan 24,2022 -- 11:06am triad



EXISTING SITE CONDITIONS
APN 035-230-005-000
APN 035-230-006-000
APN 035-230-007-000

RECORD OWNER:

CIVIL ENGINEER/SURVEYOR:

TRIAD/HOLMES ASSOCIATES
549 OLD MAMMOTH RD. SUITE 202
P.O. BOX 1570
MAMMOTH LAKES, CA 93546
CONTACT: TOM PLATZ

EASEMENT NOTES - PARCEL 1

THE NUMBERS ON EASEMENTS CORRESPOND TO THE LINE ITEMS IN ALTA COMMITMENT FOR TITLE INSURANCE, FILE NO. NCS-1067307-CH2, DATED MAY, 10 2021

- 20 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, FOR AERIAL AND UNDERGROUND ELECTRIC LINES AND COMMUNICATION LINES; RECORDED DECEMBER 27, 1966 IN BOOK 84, PAGE 302, OF OFFICIAL RECORDS.
- 21 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND CONDUITS, AND INCLUDING ABOVE-GROUND TRANSFORMERS, PEDESTALS, MARKERS AND CONCRETE PADS; RECORDED DECEMBER 22, 1969, IN BOOK 107, PAGE 84, OF OFFICIAL RECORDS.
- 22 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR AERIAL AND UNDERGROUND TELEPHONE, TELEGRAPH AND COMMUNICATION AND ELECTRIC LINES; RECORDED OCTOBER 5, 1970, IN BOOK 115, PAGE 545, OF OFFICIAL RECORDS.
- 24 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS; RECORDED OCTOBER 10, 1978, IN BOOK 254, PAGE 2, OF OFFICIAL RECORDS.
- 25 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS; RECORDED OCTOBER 10, 1978, IN BOOK 254, PAGE 4, OF OFFICIAL RECORDS.
- 26 EASEMENT IN FAVOR OF CONTINENTAL TELEPHONE COMPANY OF CALIFORNIA, A CALIFORNIA CORPORATION FOR UNDERGROUND TELEPHONE, TELEGRAPH AND COMMUNICATION SYSTEMS; RECORDED SEPTEMBER 22, 1980, IN BOOK 304, PAGE 524, OF OFFICIAL RECORDS.

THE FOLLOWING MAY AFFECT A PORTION OR ALL OF PARCEL 1:

- 17 NOT LOCATABLE, AFFECTS POLE LINES AS THEY EXISTED 3/10/1966: EASEMENT IN FAVOR OF CALIFORNIA INTERSTATE TELEPHONE COMPANY, FOR POLE LINES; RECORDED MARCH 10, 1966 IN BOOK 79, PAGE 391, OF OFFICIAL RECORDS.

EASEMENT NOTES - PARCEL 2

- 21 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND CONDUITS, AND INCLUDING ABOVE-GROUND TRANSFORMERS, PEDESTALS, MARKERS AND CONCRETE PADS; RECORDED DECEMBER 22, 1969, IN BOOK 107, PAGE 84, OF OFFICIAL RECORDS.
- 23 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND CONDUITS AND POLES; RECORDED NOVEMBER 09, 1972, IN BOOK 145, PAGE 404, OF OFFICIAL RECORDS.
- 25 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS; RECORDED OCTOBER 10, 1978, IN BOOK 254, PAGE 4, OF OFFICIAL RECORDS.
- 27 EASEMENT IN FAVOR OF THE TOWN OF MAMMOTH LAKES FOR STREET IMPROVEMENTS, LANDSCAPE, AND SNOW STORAGE; RECORDED DECEMBER 06, 2002, AS INSTRUMENT NO. 2002010441, OF OFFICIAL RECORDS.
- 28 EASEMENT BETWEEN EGOR ARONIN AND PAUL PAYNE DATED MAY 05, 2003 FOR NON-EXCLUSIVE PEDESTRIAN AND VEHICULAR ACCESS; RECORDED MAY 08, 2003 AS INSTRUMENT NO. 2003004843, OF OFFICIAL RECORDS.
- 30 EASEMENT IN FAVOR OF MONO COUNTY RESORTS, A CALIFORNIA CORPORATION FOR PERMANENT NON-EXCLUSIVE PEDESTRIAN AND VEHICULAR ACCESS; RECORDED APRIL 05, 2004, AS INSTRUMENT NO. 2004003029, OF OFFICIAL RECORDS.

THE FOLLOWING MAY AFFECT A PORTION OR ALL OF PARCEL 2:

- 17 NOT LOCATABLE, AFFECTS POLE LINES AS THEY EXISTED 3/10/1966: EASEMENT IN FAVOR OF CALIFORNIA INTERSTATE TELEPHONE COMPANY, FOR POLE LINES; RECORDED MARCH 10, 1966 IN BOOK 79, PAGE 391, OF OFFICIAL RECORDS.

INDEX TO SHEETS

- C1 COVER SHEET, EXISTING SITE CONDITIONS, VICINITY MAP
- C2 GRADING PLAN - NORTH
- C3 GRADING PLAN - SOUTH
- C4 DRAINAGE AND UTILITY PLAN
- C5 EROSION CONTROL PLAN
- C6 SNOW STORAGE PLAN
- C7 SITE COVERAGE PLAN

EASEMENT NOTES - PARCEL 3

- 23 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND CONDUITS AND POLES; RECORDED NOVEMBER 09, 1972, IN BOOK 145, PAGE 404, OF OFFICIAL RECORDS.
- 25 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS; RECORDED OCTOBER 10, 1978, IN BOOK 254, PAGE 4, OF OFFICIAL RECORDS.

THE FOLLOWING MAY AFFECT A PORTION OR ALL OF PARCEL 3:

- 17 NOT LOCATABLE, AFFECTS POLE LINES AS THEY EXISTED 3/10/1966: EASEMENT IN FAVOR OF CALIFORNIA INTERSTATE TELEPHONE COMPANY FOR POLE LINES; RECORDED MARCH 10, 1966, IN BOOK 79, PAGE 391, OF OFFICIAL RECORDS.
- 18 NOT LOCATABLE DUE TO NO BASIS OF BEARINGS. LOCATION IS NEAR EAST BOUNDARY AND IS A 20' WIDE STRIP RUNNING SOUTH TO NORTH: EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR POLE LINES; RECORDED MARCH 11, 1966, IN BOOK 79, PAGE 417, OF OFFICIAL RECORDS. AS DESCRIBED THEREIN.
- 19 NOT LOCATABLE: EASEMENT IN FAVOR OF UNITED STATES OF AMERICA FOR WATER TRANSMISSION PIPELINE; RECORDED APRIL 20, 1966, IN BOOK 80, PAGE 219, OF OFFICIAL RECORDS.
- 21 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND CONDUITS, AND INCLUDING ABOVE-GROUND TRANSFORMERS, PEDESTALS, MARKERS AND CONCRETE PADS; RECORDED DECEMBER 22, 1969, IN BOOK 107, PAGE 84, OF OFFICIAL RECORDS. AS DESCRIBED HEREIN, DOES NOT AFFECT PROPERTY.
- 24 EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS; RECORDED OCTOBER 10, 1978, IN BOOK 254, PAGE 2, OF OFFICIAL RECORDS. AS DESCRIBED HEREIN, DOES NOT AFFECT PROPERTY.

TOPOGRAPHIC SURVEY PREPARED UNDER THE DIRECTION OF:

THOMAS A. PLATZ
P.E. C 41039

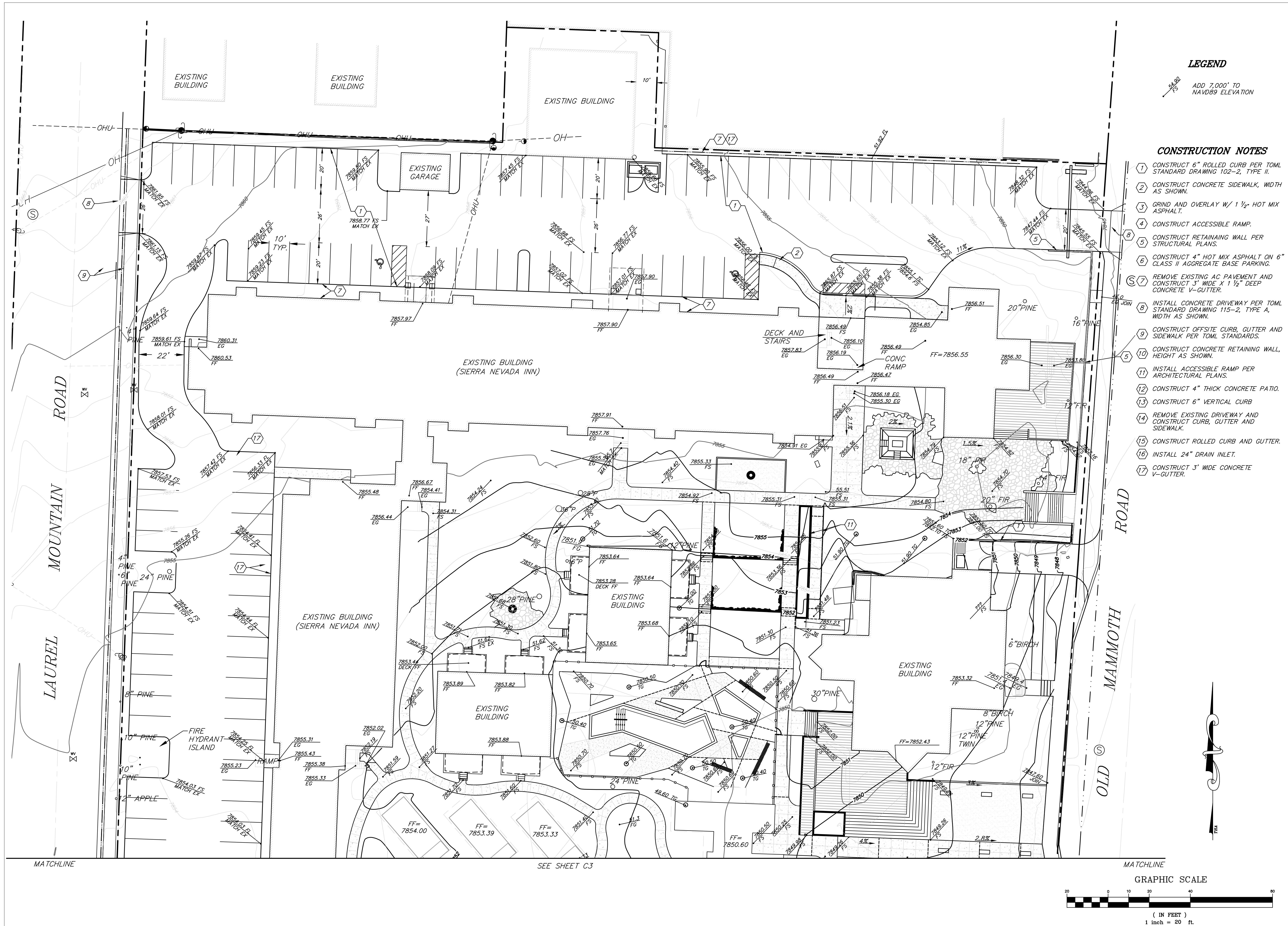
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

DESIGN REVIEW
SUBMITTAL
November 1, 2021

ISSUE: DESIGN REVIEW SUBMITTAL

C1

Z:\01 Mammoth\2740-3 SMI waterion\CAD\2740.3 Site Improvements.dwg Jan 05,2022 -- 8:11am, triad



LEGEND

ADD 7,000' TO
NAVD89 ELEVATION

CONSTRUCTION NOTES

1. CONSTRUCT 6" ROLLED CURB PER TOML STANDARD DRAWING 102-2, TYPE II.
2. CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN.
3. GRIND AND OVERLAY W/ 1 1/2" HOT MIX ASPHALT.
4. CONSTRUCT ACCESSIBLE RAMP.
5. CONSTRUCT RETAINING WALL PER STRUCTURAL PLANS.
6. CONSTRUCT 4" HOT MIX ASPHALT ON 6" CLASS II AGGREGATE BASE PARKING.
7. REMOVE EXISTING AC PAVEMENT AND CONSTRUCT 3" WIDE X 1 1/2" DEEP CONCRETE V-GUTTER.
8. INSTALL CONCRETE DRIVEWAY PER TOML STANDARD DRAWING 115-2, TYPE A, WIDTH AS SHOWN.
9. CONSTRUCT OFFSITE CURB, GUTTER AND SIDEWALK PER TOML STANDARDS.
10. CONSTRUCT CONCRETE RETAINING WALL, HEIGHT AS SHOWN.
11. INSTALL ACCESSIBLE RAMP PER ARCHITECTURAL PLANS.
12. CONSTRUCT 4" THICK CONCRETE PATIO.
13. CONSTRUCT 6" VERTICAL CURB
14. REMOVE EXISTING DRIVEWAY AND CONSTRUCT CURB, GUTTER AND SIDEWALK.
15. CONSTRUCT ROLLED CURB AND GUTTER.
16. INSTALL 24" DRAIN INLET.
17. CONSTRUCT 3" WIDE CONCRETE V-GUTTER.

164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

DESIGN REVIEW
SUBMITTAL
November 1, 2021

PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/01/2021

SHEET DATE:
REVISIONS

DRAWN: JS
CHECKED: ..
PROJECT No. 1,2740.3

SHEET TITLE:
GRADING
PLAN - NORTH

ISSUE: DESIGN REVIEW SUBMITTAL

C2



CONSTRUCTION NOTES

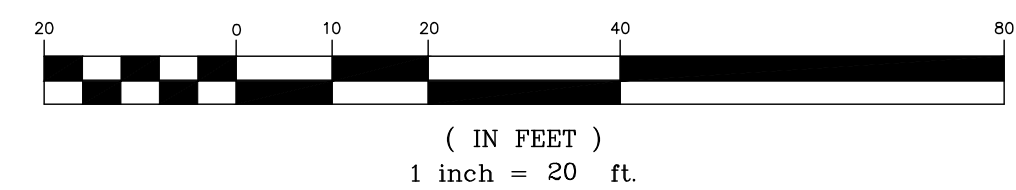
- (1) CONSTRUCT 6" ROLLED CURB PER TOML STANDARD DRAWING 102-2, TYPE II.
- (2) CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN.
- (3) GRIND AND OVERLAY W/ 1 1/2" HOT MIX ASPHALT.
- (4) CONSTRUCT ACCESSIBLE RAMP.
- (5) CONSTRUCT RETAINING WALL PER STRUCTURAL PLANS.
- (6) CONSTRUCT 4" HOT MIX ASPHALT ON 6" CLASS II AGGREGATE BASE PARKING.
- (7) REMOVE EXISTING AC PAVEMENT AND CONSTRUCT 3' WIDE X 1 1/2" DEEP CONCRETE V-GUTTER.
- (8) INSTALL CONCRETE DRIVEWAY PER TOML STANDARD DRAWING 115-2, TYPE A, WIDTH AS SHOWN.
- (9) CONSTRUCT OFFSITE CURB, GUTTER AND SIDEWALK PER TOML STANDARDS.
- (10) CONSTRUCT CONCRETE RETAINING WALL, HEIGHT AS SHOWN.
- (11) INSTALL ACCESSIBLE RAMP PER ARCHITECTURAL PLANS.
- (12) CONSTRUCT 4" THICK CONCRETE PATIO.
- (13) CONSTRUCT 6" VERTICAL CURB
- (14) REMOVE EXISTING DRIVEWAY AND CONSTRUCT CURB, GUTTER AND SIDEWALK.
- (15) CONSTRUCT ROLLED CURB AND GUTTER.
- (16) INSTALL 24" DRAIN INLET.
- (17) CONSTRUCT 3' WIDE CONCRETE V-GUTTER.

LEGEND

ADD 7,000' TO
NAVD89 ELEVATION



GRAPHIC SCALE



164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

DESIGN REVIEW
SUBMITTAL
November 1, 2021

PROJECT ISSUES:

DESIGN REVIEW SUBMITTAL	11/01/2021
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SHEET DATE: _____

REVISIONS

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CHECKED:	..
PROJECT No.	1.2740.3

SHEET TITLE:

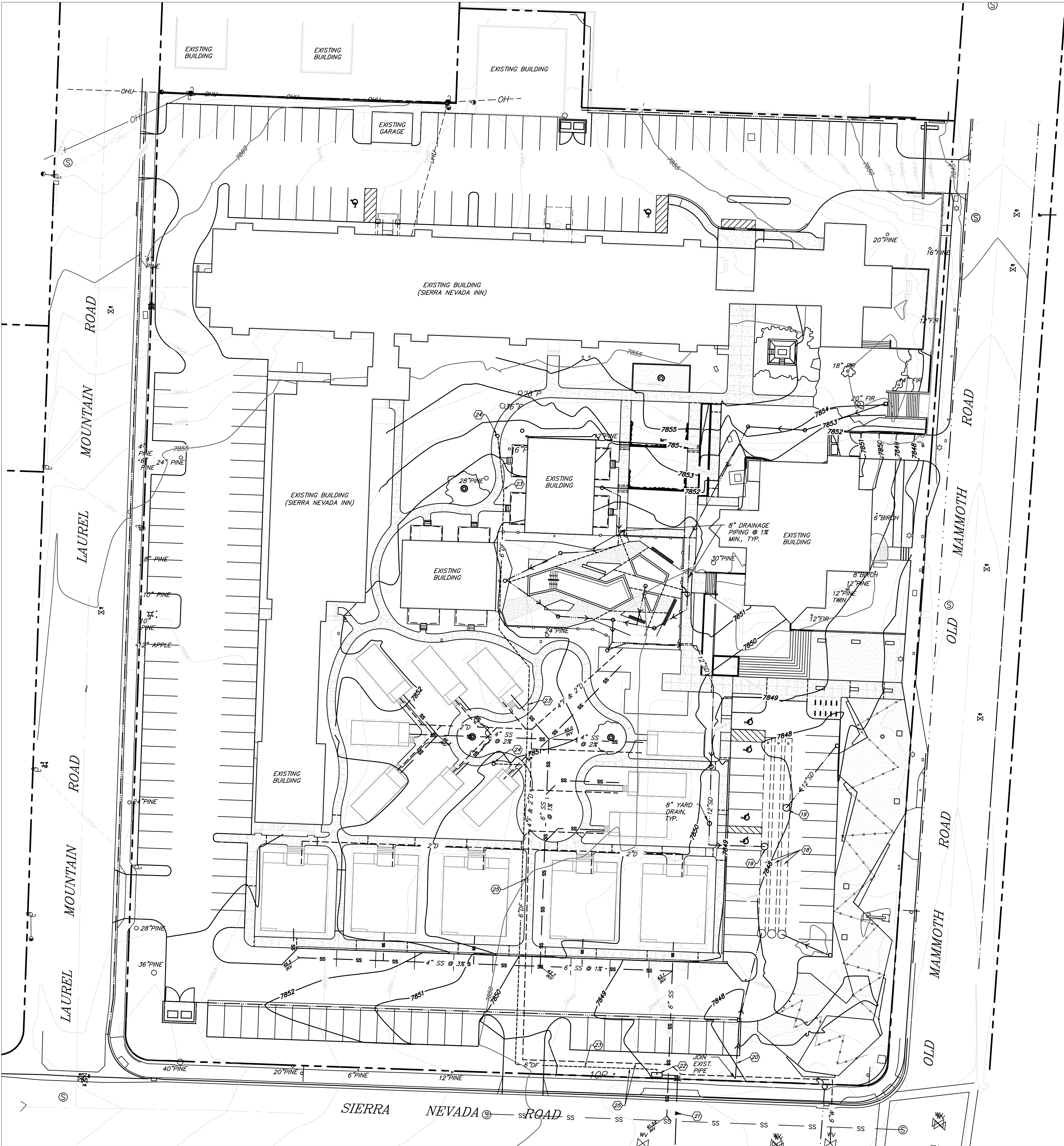
GRADING

PLAN - SOUTH

ISSUE: DESIGN REVIEW SUBMITTAL

C3

Z:\01 Mammoth\2740-3 SNI waterion (CAD)\2740.3 Site Improvements.dwg Jan 05,2022 -- 8:11am, triad

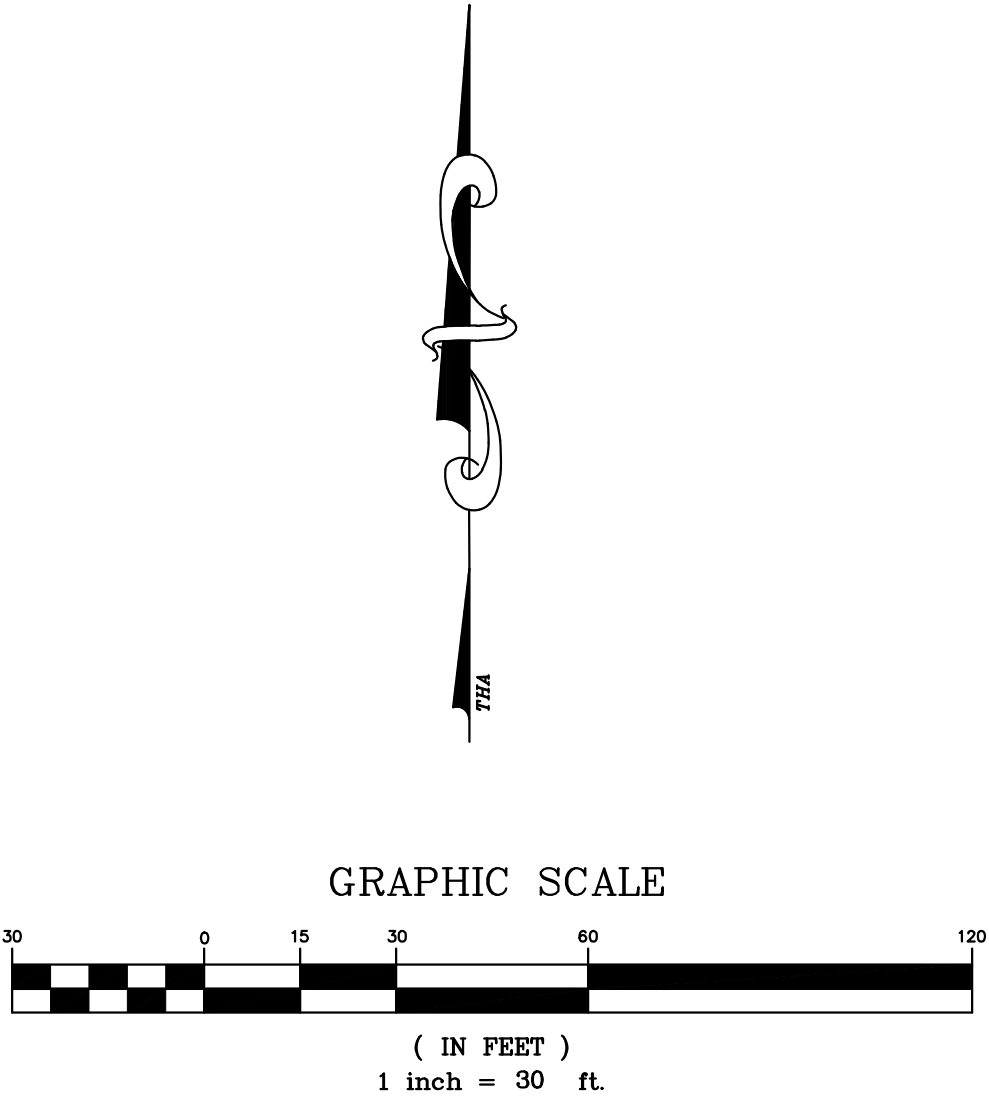


CONSTRUCTION NOTES

- 18 INSTALL 4' DIAMETER HDPE PERFORATED PIPE RETENTION BASIN PER DETAIL XXX.
- 19 INSTALL 48"x48"x12" TEE RISER
- 20 INSTALL 18" HDPE TYPE S STORM DRAIN OVERFLOW PIPE @ 0.5% MIN GRADE.
- 21 INSTALL FIRE HYDRANT ASSEMBLY PER MCWD STANDARD DETAIL XXX.
- 22 INSTALL DRY HYDRANT BULKHEAD PER MLFPD REQUIREMENTS.
- 23 INSTALL DRY HYDRANT 6" FIRE SERVICE AND LINE PER MLFPD REQUIREMENTS.
- 24 INSTALL DRY HYDRANT.
- 25 INSTALL 4" FIRE SPRINKLER MAIN AND 2" DOMESTIC METER AND SERVICE IN COMMON TRENCH.

Required Retention Volume			
Rainfall Quantity	1 in	=	0.083 ft
Tributary Area and Average Runoff Coefficient			
	Site		C
	Area		
Roof	18,000 sf	21%	0.95
Concrete	31,710 sf	37%	0.95
AC	29,050 sf	34%	0.90
Deck	2,790 sf	3%	0.50
Stone	4,527 sf	5%	0.90
Total New Impervious Area	86,077 sf	100%	0.92
Retention Volume			
Volume Required = Tributary Area * Average Runoff Coefficient * Rainfall			
Volume Required	6,570 cf		

							BASIN DIMENSIONS				
PIPE DIAMETER		PIPE VOLUME	STONE VOID VOLUME	TOTAL RETENTION STORAGE	PERC VOLUME	RETENTION STORAGE W/ PERC	LENGTH OF TYPICAL CROSS SECTION	TOTAL BASIN LENGTH	CROSS SECTION WIDTH (TOTAL BASIN WIDTH)	DEPTH OF STORAGE (NOT INCLUDING EARTH COVER)	LINEAR FEET OF PIPE REQ'D
in.	ft.	ft ³ /cs-ft	ft ³ /cs-ft	ft ³ /cs-ft	ft ³ /cs-ft	ft ³ /cs-ft	ft.	ft ³ /cs-ft	ft.	ft.	ft.
36	3.00	21.21	10.43	31.64	4.33	35.97	183	189	15.00	3.50	548
42	3.50	28.86	12.38	41.24	4.79	46.03	143	149	16.50	4.00	428
48	4.00	37.70	14.43	52.13	5.25	57.38	114	121	18.00	4.50	343
54	4.50	47.71	16.60	64.31	5.71	70.02	94	101	19.50	5.00	281
60	5.00	58.90	18.87	77.77	6.17	83.94	78	86	21.00	5.50	235
INPUT SIZE OF PIPES (ft):							4.00				
INPUT NUMBER OF ROWS OF PIPES:							3				
INPUT PERCOLATION RATE (ft/hr):							0.25				
INPUT REQ'D. STORAGE VOLUME (cf):							6570				



164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
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SHEET DATE:
REVISIONS

DRAWN: JS
CHECKED: ..
PROJECT No. 1.2740.3

SHEET TITLE:
DRAINAGE &
UTILITY PLAN

ISSUE: DESIGN REVIEW SUBMITTAL

CONSTRUCTION NOTES

1. INSTALL FILTER FENCE PER DETAIL HEREON.
2. INSTALL FIBER ROLL PER DETAIL HEREON.
3. INSTALL DROP INLET PROTECTION PER DETAIL HEREON.
4. INSTALL ABOVE GRADE CONCRETE WASTE MANAGEMENT AREA PER DETAIL HEREON.
5. INSTALL TREE PROTECTION FENCING.
6. INSTALL TEMPORARY TOILET FACILITY PER DETAIL HEREON.
7. INSTALL CONSTRUCTION ENTRANCE PER DETAIL ON SHEET C7.
8. APPLY HYDROSEED TO SLOPES PER TOWN OF MAMMOTH LAKES STANDARDS. HYDROSEED MIX SHALL BE APPROVED BY TOWN OF MAMMOTH LAKES PRIOR TO APPLICATION.
9. MATERIAL DELIVERY AND STORAGE AREA.

EROSION CONTROL NOTES

1. TEMPORARY EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO COMMENCING ANY GRADING OPERATIONS.
2. DURING CONSTRUCTION, TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT FENCES, FIBER ROLLS, EROSION CONTROL BLANKETS, OR OTHER METHODS SHALL BE INSTALLED AS NECESSARY TO PREVENT DISCHARGE OF EARTHEN MATERIALS FROM THE SITE DURING PERIODS OF PRECIPITATION OR RUNOFF. SIMILAR MEASURES SHALL BE INSTALLED ON OR AROUND ANY SOIL STOCKPILE LOCATED ADJACENT TO PUBLIC ROADWAYS, RESIDENCES, OR BUSINESSES, IN THE VICINITY OF BODIES OF WATER, OR WHEN REMAINING ON-SITE FOR AN EXTENDED PERIOD. DIRECT RINSEWATER FROM ARCHITECTURAL COPPER INTO LANDSCAPING.
3. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO RETAIN SOIL AND SEDIMENT ON-SITE AND TO PREVENT TRACKING OF MUD AND DIRT ONTO PUBLIC ROADWAYS.
4. BMP'S SHALL BE MAINTAINED AND OPERATED SUCH THAT THEY REDUCE OR ELIMINATE POLLUTANTS FROM EXITING THE SITE TO THE GREATEST EXTENT POSSIBLE. IF SELECTED BMP'S ARE NOT WORKING AS REQUIRED, THE BMP INSTALLATION MUST BE IMPROVED, OR NEW BMP'S SHALL BE SELECTED.
5. EROSION CONTROL MEASURES SHALL BE IN PLACE THROUGHOUT THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 30, AND SHALL BE AVAILABLE ON-SITE IN THE EVENT OF FORECASTED WET WEATHER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.

PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/01/2021

SHEET DATE:
REVISIONS

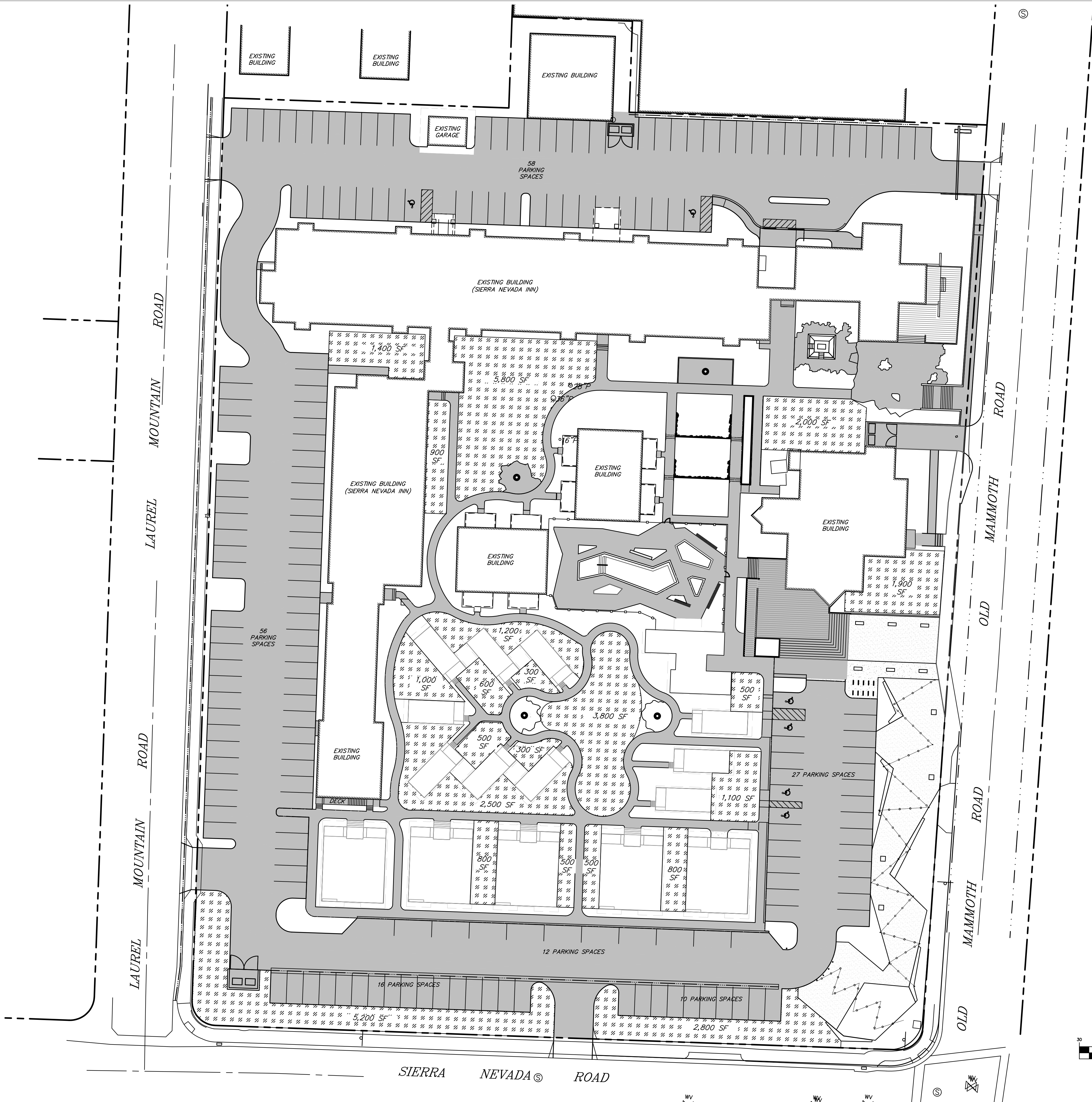
DRAWN: JS
CHECKED: ..
PROJECT No. 1.2740.3

SHEET TITLE:
**EROSION
CONTROL
PLAN**

ISSUE: DESIGN REVIEW SUBMITTAL

Z:\01 Mammoth\2740-3 SNI waterion\CAD\2740.3 Site Improvements.dwg Jan 05,2022 -- 8:11am, triad

ORIGINAL SHEET SIZE IS 24"x36" | PLOT DATE:

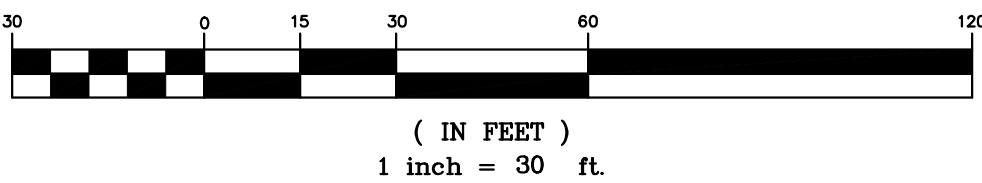


SNOW STORAGE AREA CALCULATION

	SNOW REMOVAL AREA	106,900 SQ. FT.
	SNOW STORAGE AREA	34,400 SQ. FT.
32% SNOW STORAGE AREA		



GRAPHIC SCALE



164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

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SUBMITTAL
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REVISIONS

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PROJECT No. 1.2740.3

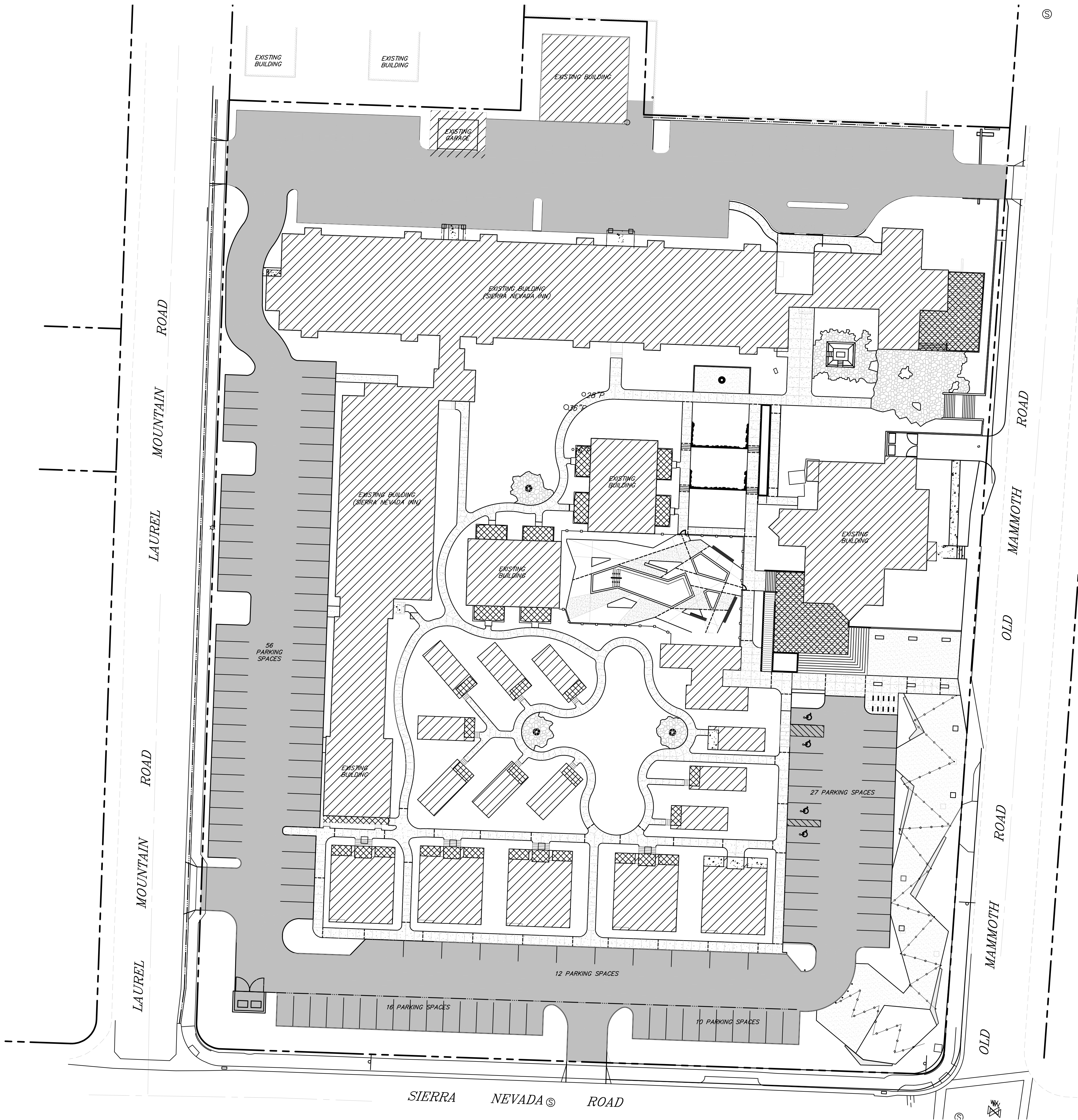
SHEET TITLE:
**SNOW
STORAGE
PLAN**

ISSUE: DESIGN REVIEW SUBMITTAL

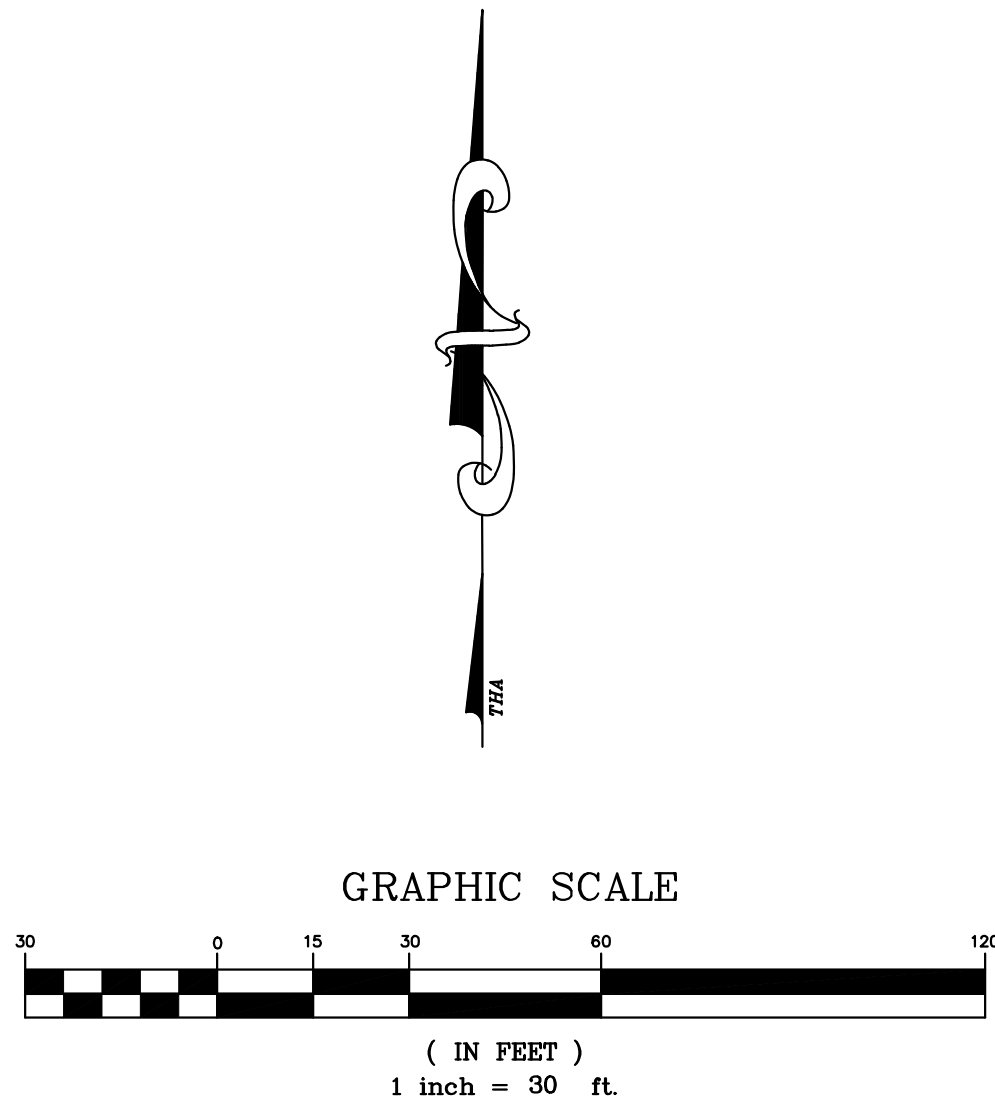
C6

Z:\01 Mammoth\2740-3 SNI waterion\CAD\2740.3 Site Improvements.dwg Jan 05,2022 -- 8:11am, triad

ORIGINAL SHEET SIZE IS 24"x36" | PLOT DATE:



SITE COVERAGE CALCULATION	
BUILDINGS	61,770 SQ. FT.
ASPHALT DRIVEWAYS/PARKING	70,068 SQ. FT.
CONCRETE/FLAGSTONE WALKS	45,136 SQ. FT.
DECKS (50% OF 5,626)	2,813 SQ. FT.
TOTAL	179,797 SQ. FT.
TOTAL SITE AREA	265,355 SQ. FT.
68% SITE COVERAGE	



164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

DESIGN REVIEW
SUBMITTAL
November 1, 2021

PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/01/2021

SHEET DATE:
REVISIONS

DRAWN: JS
CHECKED: ..
PROJECT No. 1,2740.3

SHEET TITLE:
**SITE
COVERAGE
PLAN**

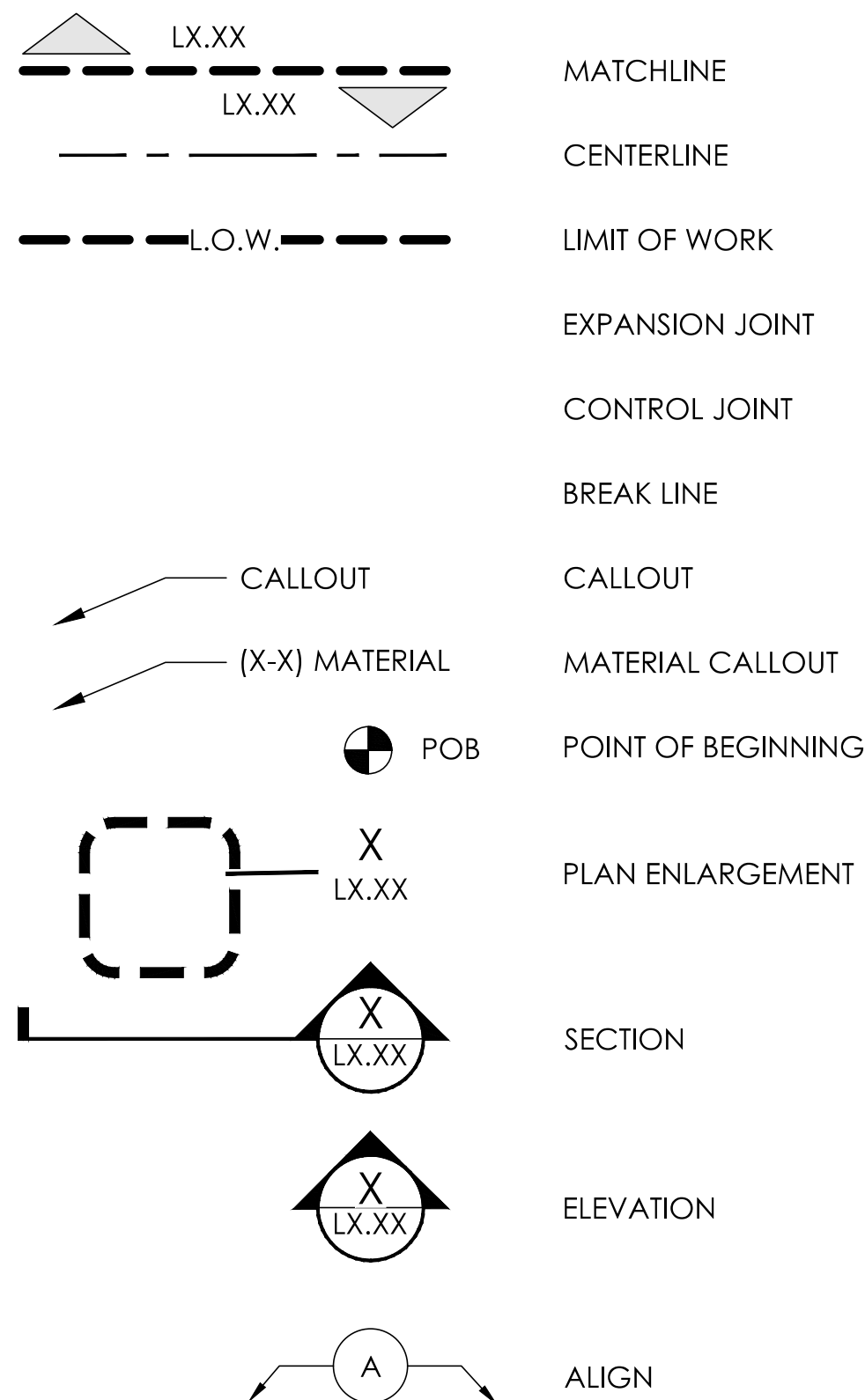
ISSUE: DESIGN REVIEW SUBMITTAL

C7

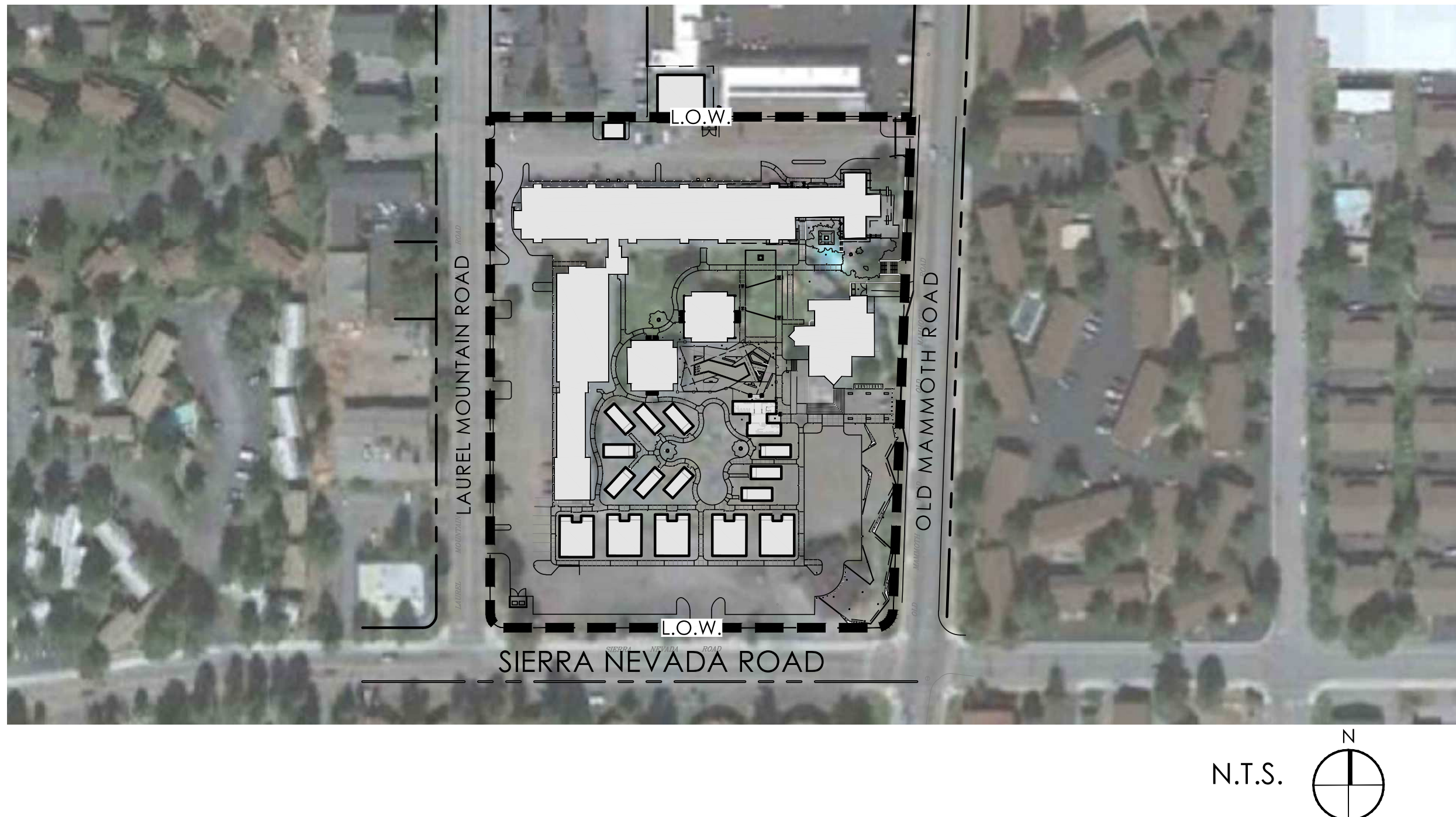
ABBREVIATIONS

+ XX	PROPOSED SPOT GRADE
+ TW	TOP OF WALL
+ BW	BOTTOM OF WALL
+ TS	TOP OF STEP
+ BS	BOTTOM OF STEP
+ TC	TOP OF CURB
+ BC	BOTTOM OF CURB
+ TD	TOP OF DRAIN
FFE	FINISH FLOOR ELEVATION
LA	LANDSCAPE AREA
REF	REFERENCE
SPEC	SPECIFICATIONS

SYMBOLS LEGEND



KEY MAP



GENERAL NOTES

1. THIS PLAN IS FOR THE PURPOSE OF HORIZONTAL STAKING (SKIVING) OF CONSTRUCTION FEATURES NOT LOCATED BY THE CIVIL ENGINEERING AND ARCHITECTURAL DRAWINGS; AND FOR THE CONSTRUCTION REFERENCE OF SITE FEATURES.
2. EXISTING DRAWINGS & SITE VISITATION: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE, EXAMINE THE EXISTING CONDITIONS OF THE NEW CONSTRUCTION & DETERMINE TO THEIR SATISFACTION THE METHODS & PROCEDURE, REMOVAL & STORAGE OF MATERIALS, SEQUENCING OF OPERATIONS AND CONDITIONS WHICH AFFECT ITS WORK & PROBLEMS ATTENDANT HERETO.
3. THE CONTRACTOR BARES ALL RESPONSIBILITY FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, WALKS AND CURBS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO BEFORE MENTIONED INFRASTRUCTURE THAT ARE TO REMAIN SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER. HODGSON AND DOUGLAS ASSUMES NO RESPONSIBILITY FOR ANY NOT SHOWN ON PLANS.
4. ALL PROPOSED AND FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNERS SURVEY AND/OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
5. EASEMENTS, BUILDING SETBACKS, CURB AND GUTTER AND UNDERGROUND UTILITIES HAVE BEEN SUPPLIED TO HODGSON AND DOUGLAS BY THE PROJECT CIVIL ENGINEER. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
6. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION THROUGH SUBSTANTIAL COMPLETION - INCLUDING BUT NOT LIMITED TO HARDSCAPE, PLANTING, AND IRRIGATION.
7. COORDINATION: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH OTHER SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH CONSTRUCTION OPERATIONS PER DESIGN.
8. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY HODGSON AND DOUGLAS ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTORS ARE TO BID THEIR OWN QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
9. NO SUBSTITUTIONS OF ANY MATERIALS SHALL BE ALLOWED WITHOUT WRITTEN CONSENT OF LANDSCAPE ARCHITECT.
10. MOCKUPS ARE REQUIRED FOR THIS PROJECT. REFER TO MOCK-UPS SECTION ON L0.01.
11. CONTRACTOR TO VERIFY THAT A MIN. DEPTH OF 12" OF SPECIFIED TOPSOIL MIX PROVIDED FOR ALL PROPOSED PLANTING AREAS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.

LAYOUT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS, GIVING NOTICES, AND PAYING FEES. THE CONTRACTOR SHALL COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING CODES AND ORDINANCES RELATING TO THIS CONSTRUCTION PROJECT.
2. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. WHERE PLAN DETAILS DIFFER FROM CITY STANDARDS, THE LATTER SHALL BE SUBSTITUTED IF APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
4. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES
5. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WORK.
6. PROVIDE VERTICAL EXPANSION JOINTS WHERE ALL PAVEMENT ABUTS WALLS OR OTHER VERTICAL SURFACES (TYP.).
7. PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT AND STAKED FOR REVIEW BY LANDSCAPE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY DEMOLITION, ADJUSTMENTS OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
8. CONTRACTOR TO LAYOUT ALL **PROPOSED WALKS, STEPS, PAVERS, WALLS, FENCING, HANDRAILS AND LIGHTING** AND RECEIVE LANDSCAPE ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.

MATERIAL NOTES

PAVING NOTES:

1. COORDINATION: REFER TO CIVIL PLANS FOR ALL VEHICULAR PAVING DETAILS. VEHICULAR PAVING SHOWN IN LANDSCAPE PACKAGE IS ONLY FOR AESTHETIC AND JOINTING PURPOSES ONLY.
2. COORDINATION: WHERE SIDEWALK ABUTS CURB REFER TO CIVIL ENGINEER'S PLANS FOR INTEGRAL WALK/CURB DETAIL
3. COORDINATION: COORDINATE INSTALLATION OF SLEEVES, VAULT COVERS, ETC. W/ OTHER TRADES PRIOR TO POURING PAVING. IN THE EVENT THAT A COVER FALLS WITHIN PAVING, NOTIFY L.A. IMMEDIATELY BEFORE FORMING HARDSCAPE.
4. COORDINATION: VERIFY LAYOUT OF PAVING WITH L.A. PRIOR TO BEGINNING WORK
5. ADA DESIGN REQUIREMENTS: JOINTING & FINISHING TO MEET ADA REQUIREMENTS FOR SLIP RESISTANCE & JOINT WIDTH (3/16" MAX.) - 0.6 SLIP RESISTANCE COEFFICIENT
6. DESIGN: ALL WALKS, HEADERS, BEDLINES & WALLS SHALL HAVE SMOOTH, TANGENT, CONTINUOUS CURVES, IF APPLICABLE, UNLESS NOTED OTHERWISE.
7. DESIGN: CONCRETE PAVING JOINTS INCLUDE THREE JOINT TYPES - CONSTRUCTION, DOWELED CONSTRUCTION, AND EXPANSION - SEE CONSTRUCTION DETAILS IN L4.00 SERIES. PROVIDE DOWELED CONSTRUCTION JOINTS BETWEEN DIFFERENT PAVING COLOR TYPES, CHANGES IN DIRECTION, END OF FOUR OPERATIONS, OR WHERE SPECIFICALLY INDICATED ON PLANS.
8. MOCK-UP SUBMITTAL: CONTRACTOR SHALL MOCK-UP 4'x4' SAMPLES OF ALL PAVING ON SITE AT LOCATION DETERMINED BY OWNER TO SHOW FINISH, COLOR, JOINTING, & INTERSECTION OF PATTERNS AS REQUESTED BY OWNER. ALL SAMPLES SHALL BE APPROVED BY OWNER
9. MOCK-UP SUBMITTAL: PAVING WORK TO MATCH OWNER APPROVED PAVING MOCK-UPS. WORK NOT MATCHING MAY BE REJECTED BY OWNER

MATERIAL NOTES CONT.

FENCE NOTES:

1. COORDINATION: CARD READER ACCESS TO BE PROVIDED AT GATE LOCATIONS NOTED ON L7.00 SERIES AND ELECTRICAL ENGINEER'S PLANS. THIS INFORMATION IS SHOWN FOR MEF. ONLY AND SHOULD BE COORDINATED WITH ELECTRICAL ENGINEER, OWNER, AND SECURITY CONSULTANT.
2. COORDINATION: ALL FOOTING POURS (WALLS, FENCE, ETC) ARE TO BE REVIEWED AND COORDINATED WITH ADJACENT UTILITY LOCATIONS, TREE LOCATIONS, AND ADJACENT WALL FOOTINGS
3. DESIGN: HOLD TOPS OF FENCES AND WALLS LEVEL UNLESS NOTED OTHERWISE
4. DESIGN: CONTRACTOR TO PROVIDE OR APPLY FACTORY PRIMED SURFACE, 2 COATS EXTERIOR GRADE PAINT FOR ALL PAINTED STEEL
5. SUBMITTAL: CONTRACTOR SHALL SUBMIT FENCE/GATE COLOR AND FINISH SAMPLE FOR REVIEW AND APPROVAL PRIOR TO APPLICATION
7. SUBMITTAL: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH FENCE / GATE LOCATION PLAN AND DETAILS SHOWING DIMENSIONS, MATERIALS, AND STRUCTURAL INFORMATION - FOR REVIEW AND APPROVAL BY OWNER'S AUTHORIZED REPRESENTATIVE BEFORE CONSTRUCTION
8. ALL POOL WALLS AND FENCES 48" MIN UNCLIMBABLE AND TO CONTAIN NO FOOTHOLDS ALONG EXTERIOR

WALL NOTES:

1. COORDINATION: REFER TO CIVIL ENGINEER'S GRADING PLAN TO CONFIRM ALL WALL HEIGHTS.
2. COORDINATION: ALL FOOTING POURS (WALLS, FENCE, ETC) ARE TO BE REVIEWED AND COORDINATED WITH ADJACENT UTILITY LOCATIONS, TREE LOCATIONS, AND WHERE WALL FOOTINGS ARE ADJACENT EACH OTHER (MONOLITHIC POURS BETWEEN ADJACENT WALLS)
3. DESIGN: KEEP WALLS VERTICALLY PLUMB UNLESS OTHERWISE NOTED
4. DESIGN: TOP OF WALLS TO BE CONSISTENT ELEVATION (NOT SLOPED) UNLESS OTHERWISE NOTED, OVERALL WALL HEIGHTS MAY VARY SLIGHTLY BASED ON GRADING
5. SUBMITTAL: CONTRACTOR SHALL SUBMIT SAMPLES OF ALL WALLS TO SHOW MATERIALS, FINISH, COLOR, AND JOINTING. ALL SAMPLES SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE BEFORE CONSTRUCTION
6. SUBMITTAL: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH WALL LOCATION PLAN AND WALL DETAILS SHOWING DIMENSIONS, MATERIALS, AND STRUCTURAL INFORMATION - FOR REVIEW AND APPROVAL BY OWNER'S AUTHORIZED REPRESENTATIVE BEFORE CONSTRUCTION

UTILITY NOTES:

1. COORDINATION: BEFORE INSTALLING ALL UNDERGROUND HARDSCAPE FEATURES (I.E. FENCE FOOTINGS, WALL FOOTINGS, AND SERVICE LINES) VERIFY ALL LOCATIONS OF EXISTING UTILITIES AND INSTALLED UTILITIES. COORDINATE CIVIL, STRUCTURAL, ELECTRICAL, ARCHITECTURAL, AND MECHANICAL PLANS WITH THIS LANDSCAPE PACKAGE
2. COORDINATION: CIVIL STRUCTURES (I.E. CATCH BASINS, MANHOLES, LIFT STATIONS) ARE SHOWN FOR REFERENCE ONLY
3. COORDINATION: REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE STRUCTURES BEFORE INSTALLATION OF WALKS, FOOTINGS, PLANTING, AND OTHER ITEMS
4. COORDINATION: ALL JUNCTION & VALVE BOXES SHALL BE IN PLANTING AREAS AS APPROVED BY OWNER. STAKE LOCATIONS BEFORE INSTALLATION FOR APPROVAL BY OWNER
5. UNDERGROUND UTILITIES:
 - A. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL TENNESSEE ONE CALL SYSTEM.
 - B. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL THE UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
 - C. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AS SHOWN ON PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE PRIOR TO PREFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS & NOTES RELATING TO THE AREA.



DESIGN REVIEW SUBMITTAL

November 17, 2021



PROJECT ISSUES:	
DESIGN REVIEW SUBMITTAL	11/17/2021
DESIGN REVIEW RESUBMITTAL	01/28/2022

SHEET DATE: 11/17/21

REVISIONS

DRAWN:	DO, MP
CHECKED:	JS
PROJECT No.	2116

SHEET TITLE:

GENERAL NOTES

ISSUE: **DESIGN REVIEW SUBMITTAL**

D0.00



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

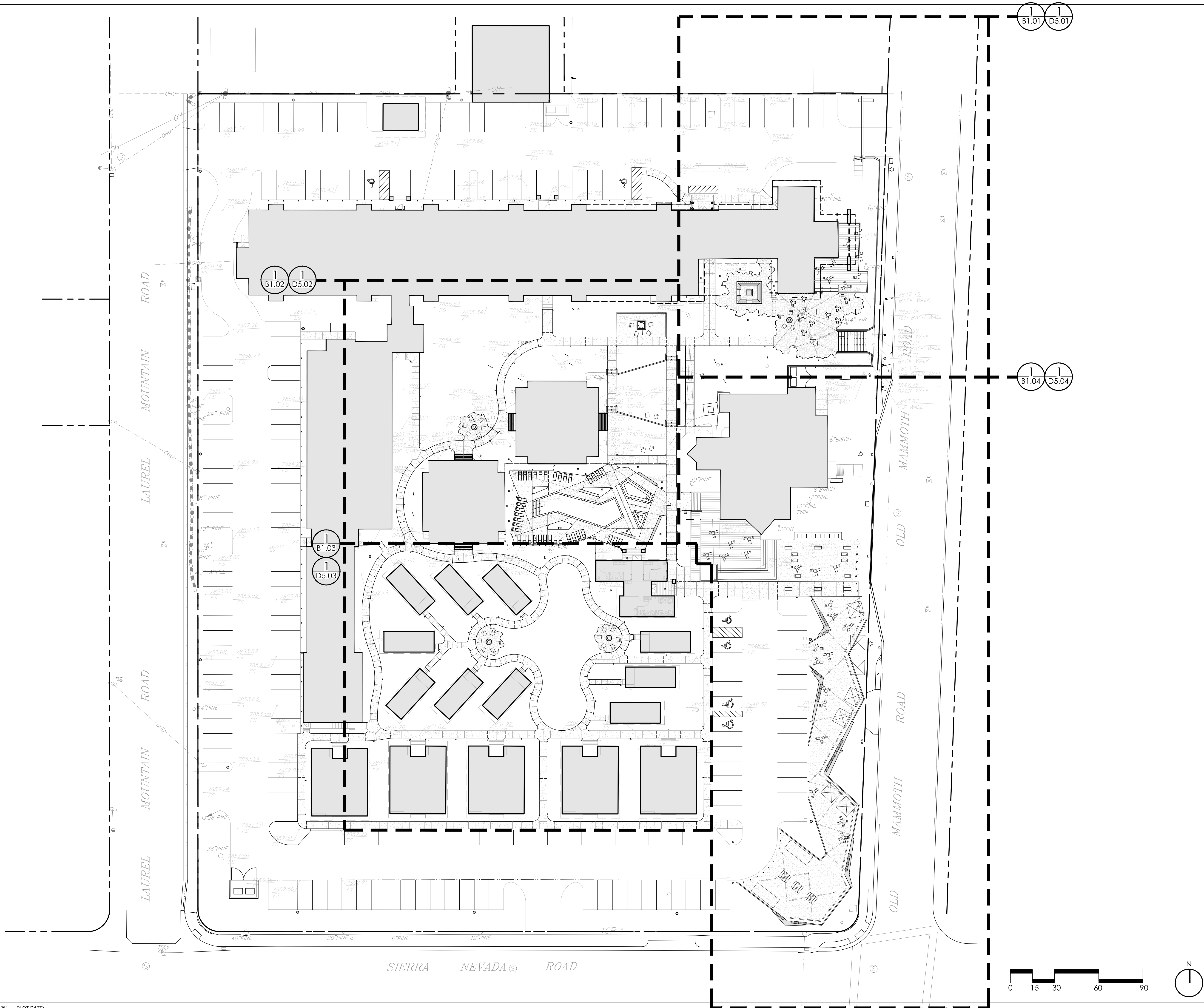
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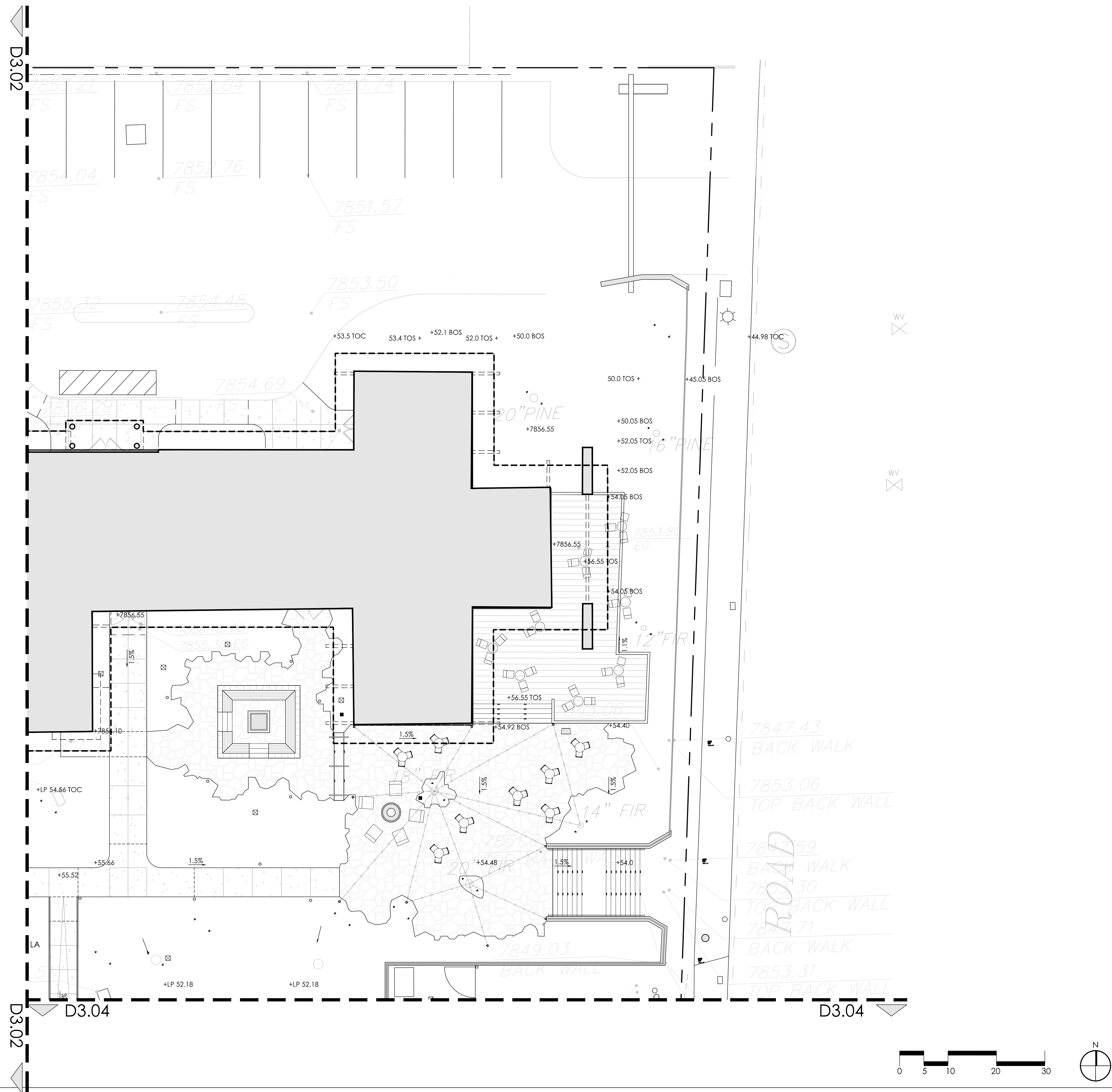
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PROJECT No. 2116

SHEET TITLE:
**OVERALL
GRADING PLAN**

ISSUE: **DESIGN REVIEW SUBMITTAL**

D3.00





DESIGN REVIEW
SUBMITTAL

November 17, 2021



 grouparchitect

AXIS GF/
ARCHITECTURE + DESIGN

EDG *FELLOW*

PROJECT ISSUES:	
DESIGN REVIEW SUBMITTAL	11/17/2021
DESIGN REVIEW RESUBMITTAL	01/28/2022

SHEET DATE: 11/17/21

REVISIONS

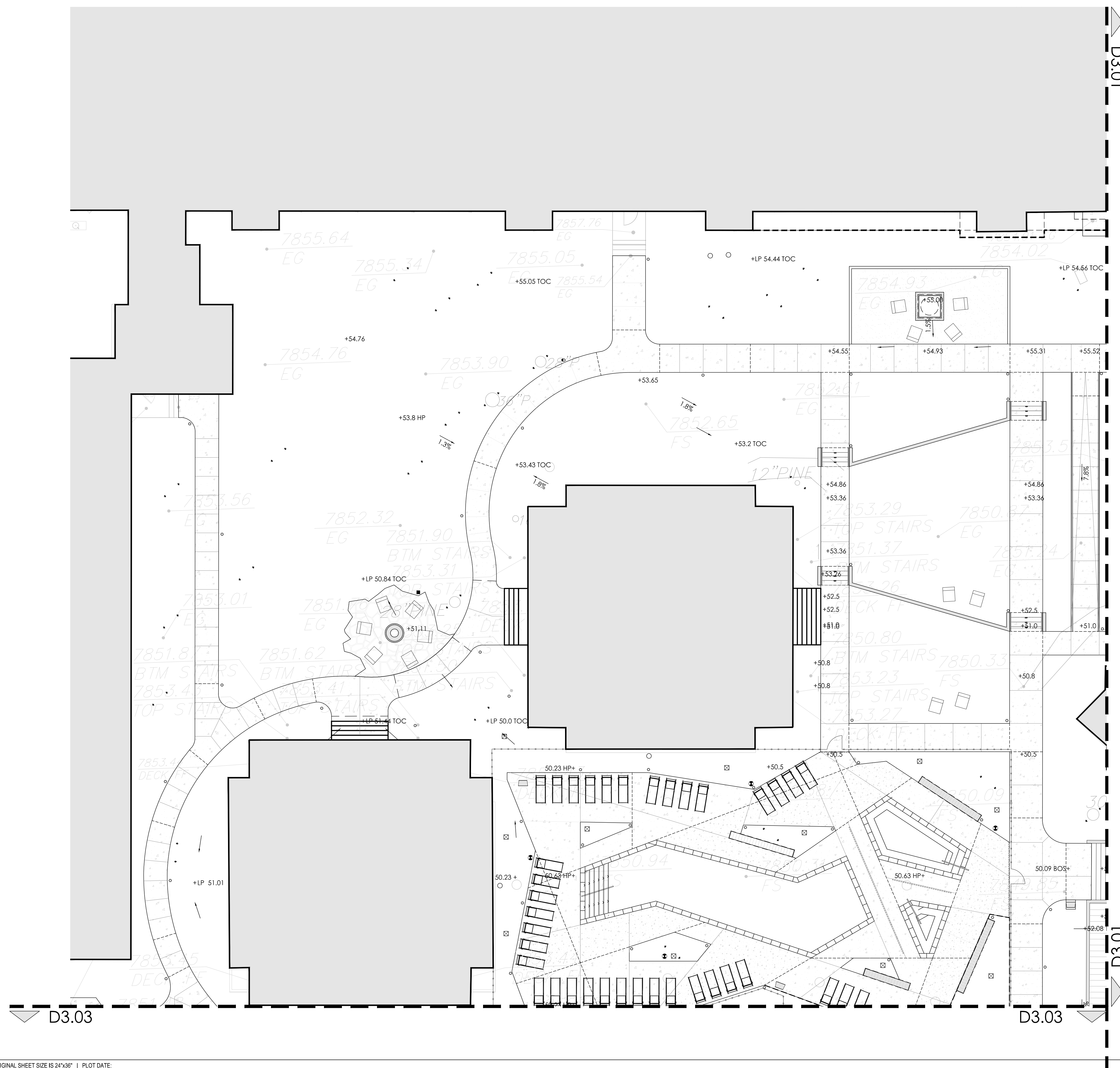
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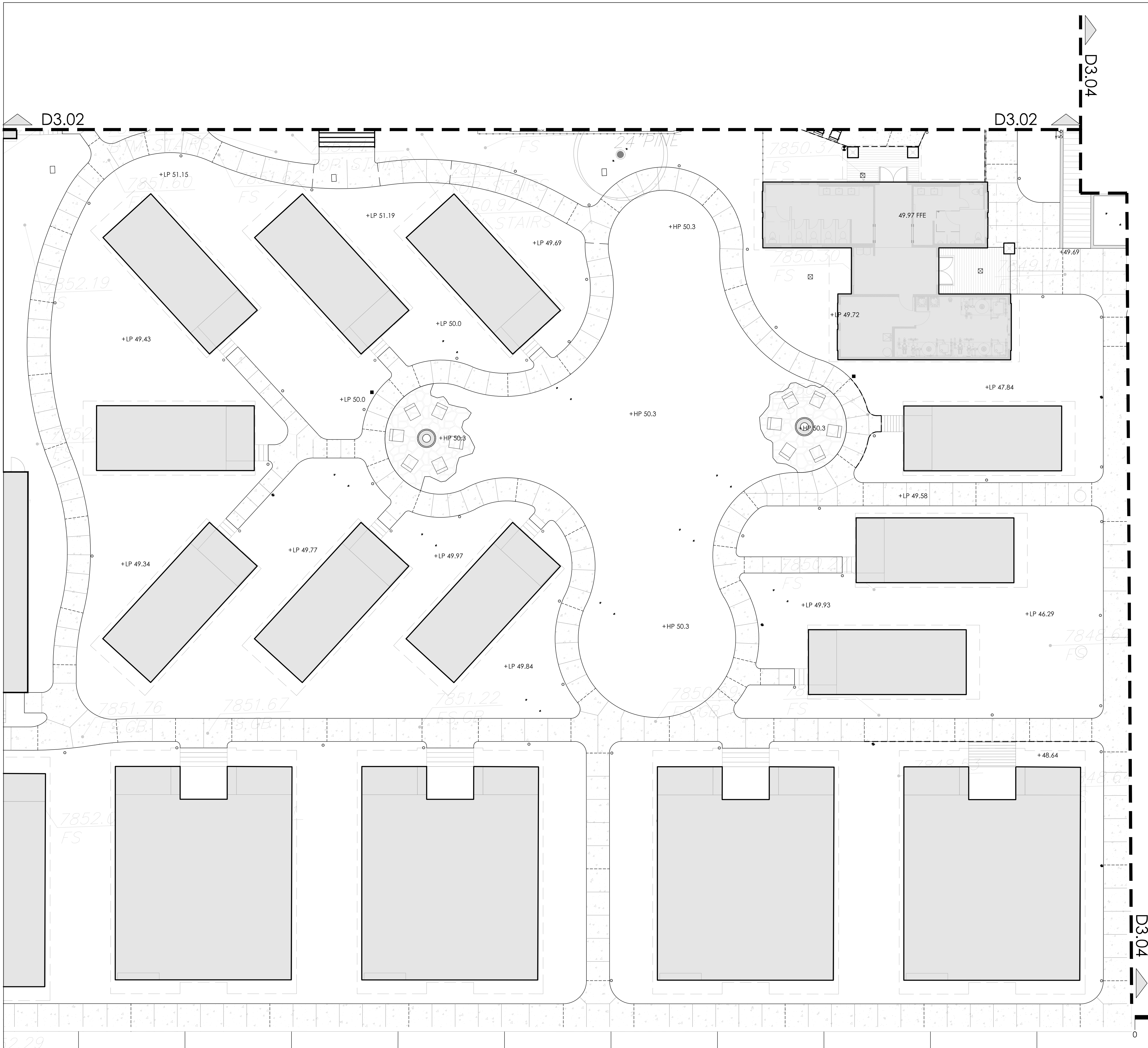
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INNER
COURTYARD
GRADING PLAN
ENLARGEMENT

ISSUE: **DESIGN REVIEW SUBMITTAL**

D3.02





229
ORIGINAL SHEET SIZE IS 24"x36" | PLOT DATE:

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 17, 2021

WATERTON

t h a **HD A**

grouparchitect

AXISGF/-
ARCHITECTURE + DESIGN

EDG **FELLOW**

method homes

SPRINGBOARD
HOSPITALITY

PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

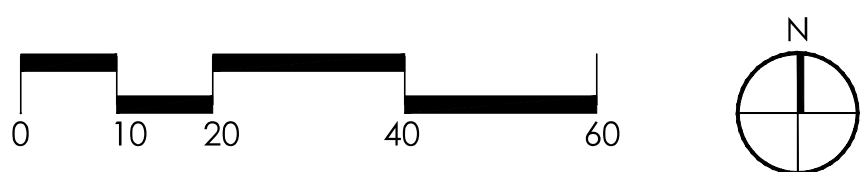
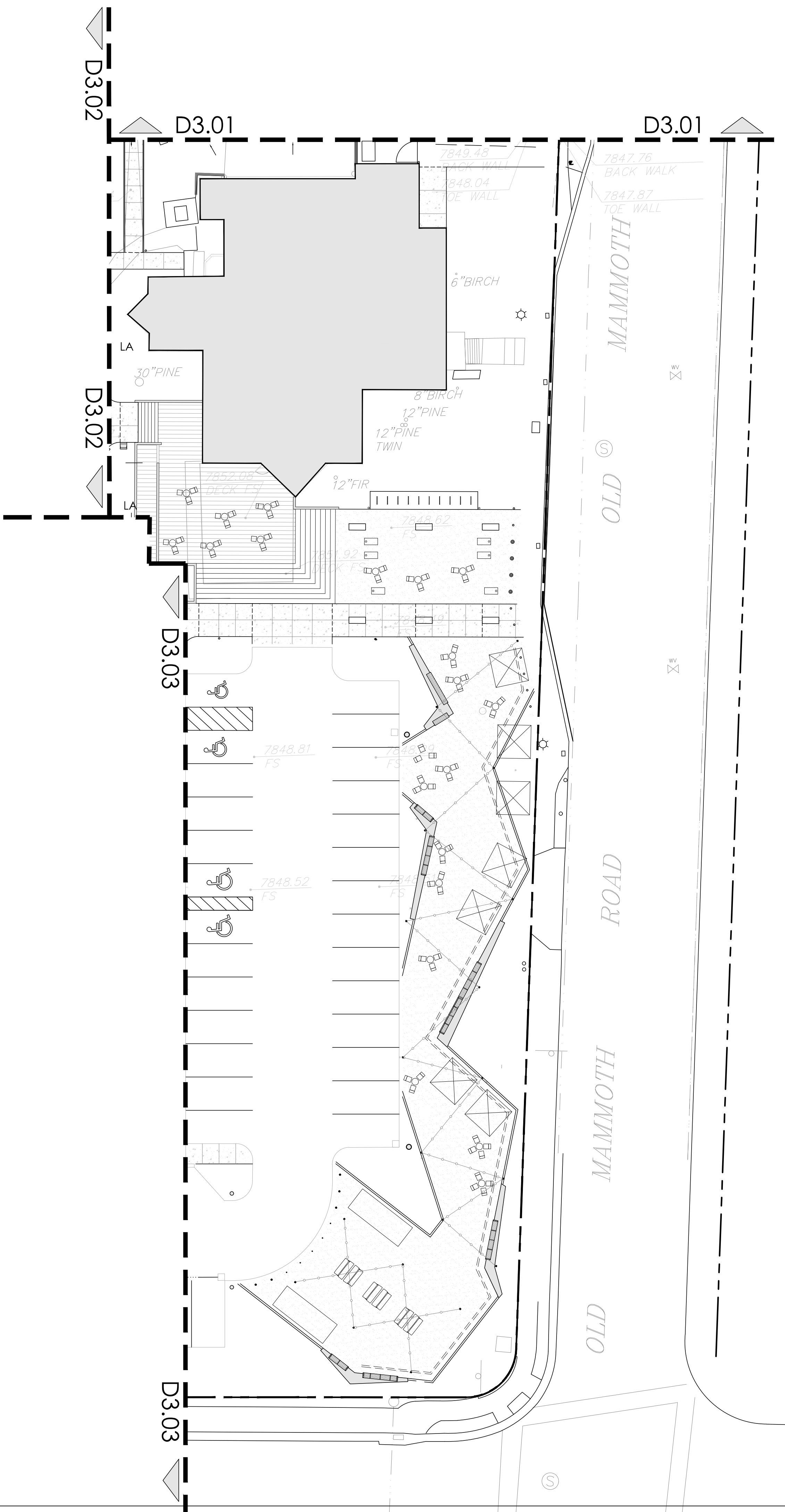
SHEET DATE: 11/17/21
REVISIONS

DRAWN: DO, MP
CHECKED: JS
PROJECT No. 2116

SHEET TITLE:
CABIN OPEN
SPACE
GRADING PLAN
ENLARGEMENT

ISSUE: DESIGN REVIEW SUBMITTAL

D3.03



PROJECT ISSUES:		
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DESIGN REVIEW RESUBMITTAL	01/28/2022	

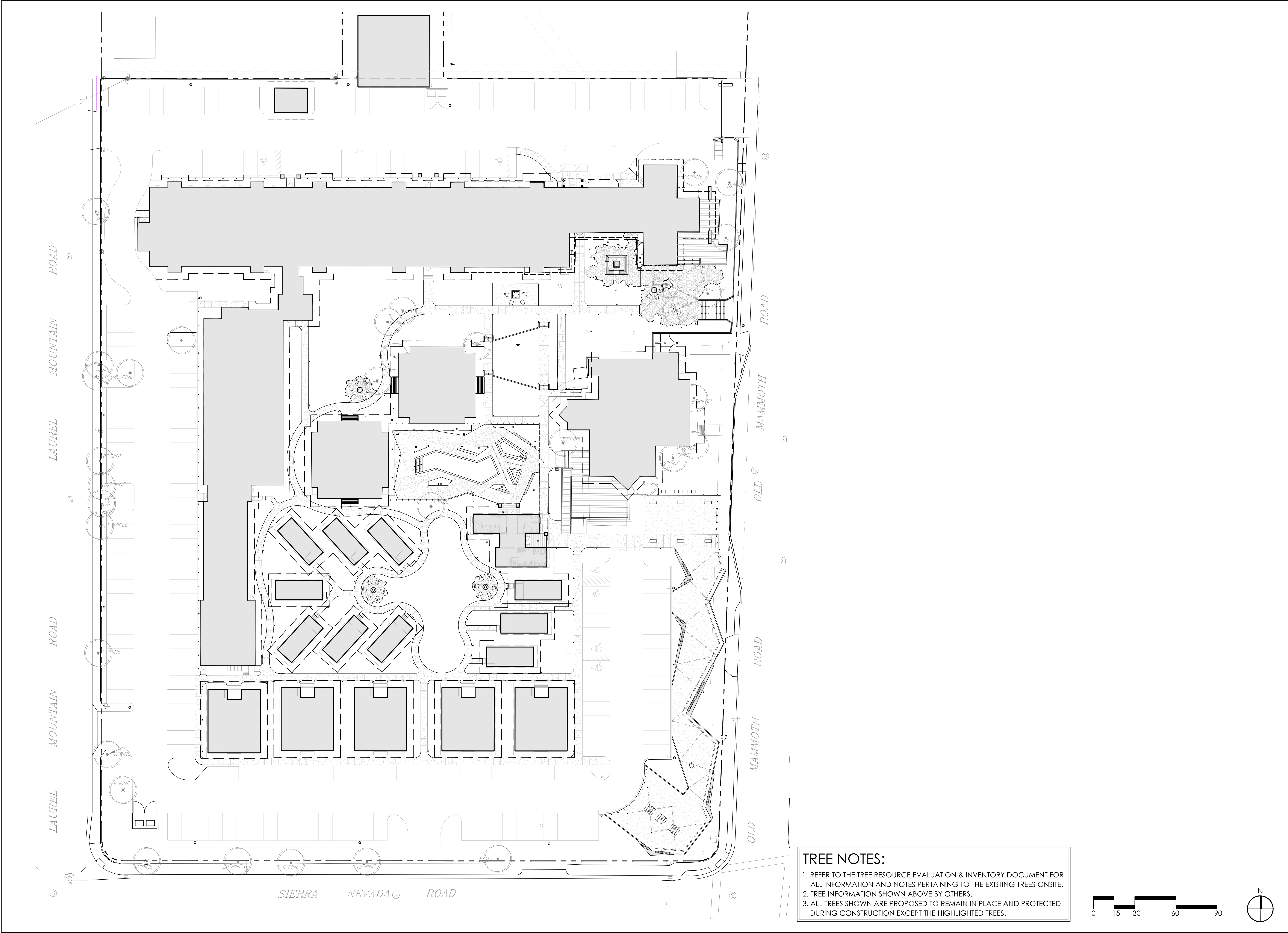
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REVISIONS	

DRAWN:	DO, MP
CHECKED:	JS
PROJECT No.	2116

SHEET TITLE:
FOOD
COURTYARD
GRADING PLAN
ENLARGEMENT

ISSUE: DESIGN REVIEW SUBMITTAL

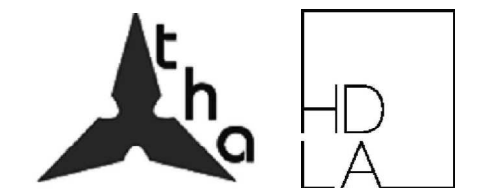
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ORIGINAL SHEET SIZE IS 24"x36" | PLOT DATE:

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

SHEET DATE: 11/17/21
REVISIONS

DRAWN: DQ, MP
CHECKED: JS
PROJECT No. 2116

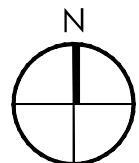
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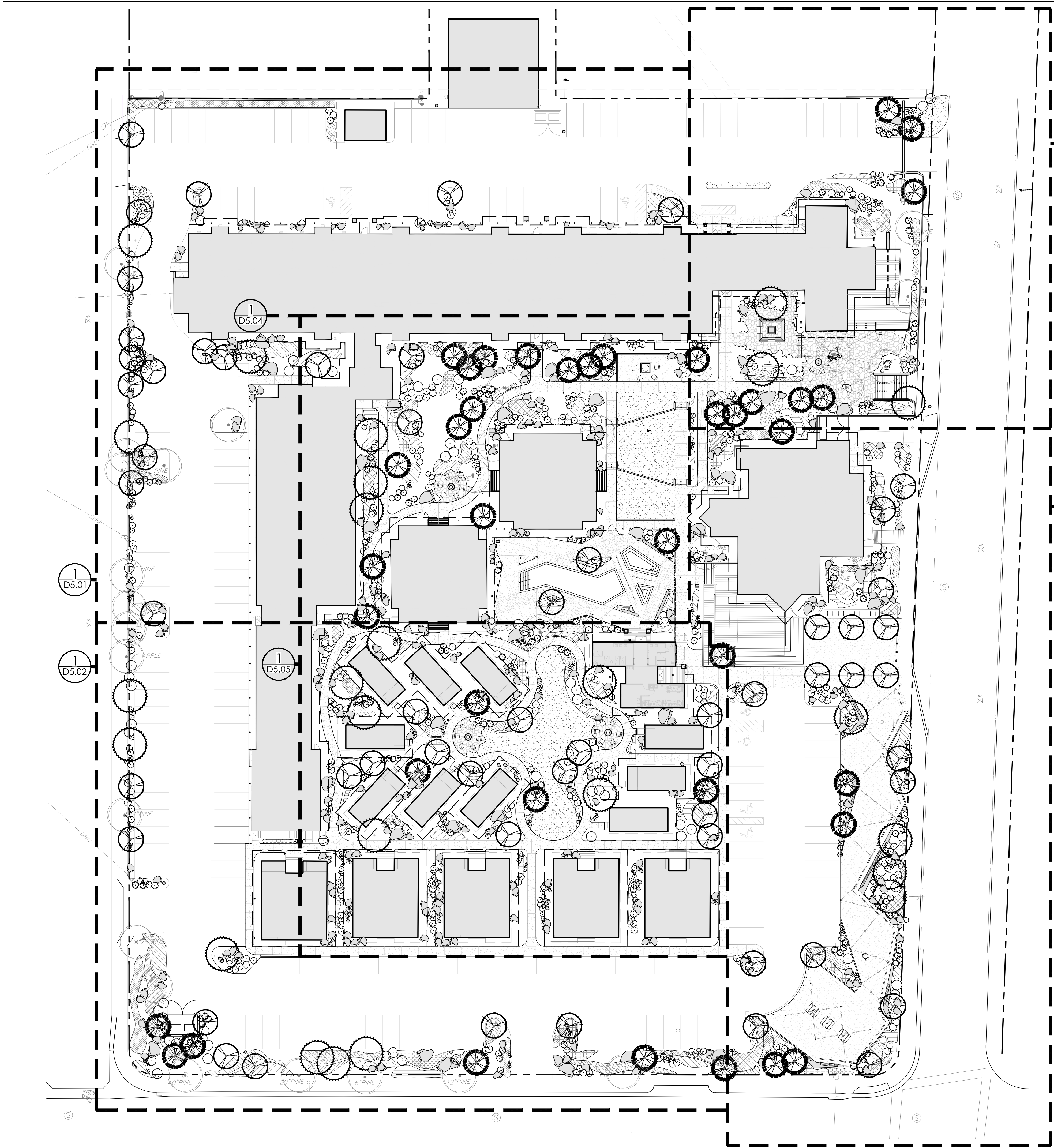
ISSUE: **DESIGN REVIEW SUBMITTAL**

D5.00

TREE NOTES:

1. REFER TO THE TREE RESOURCE EVALUATION & INVENTORY DOCUMENT FOR ALL INFORMATION AND NOTES PERTAINING TO THE EXISTING TREES ONSITE.
2. TREE INFORMATION SHOWN ABOVE BY OTHERS.
3. ALL TREES SHOWN ARE PROPOSED TO REMAIN IN PLACE AND PROTECTED DURING CONSTRUCTION EXCEPT THE HIGHLIGHTED TREES.





LANDSCAPE DESIGN STATEMENT:

1. REFER TO L5.00 SERIES, LANDSCAPE PLANS, FOR SPECIFIC PLANT TYPES AND LOCATIONS.

2. THE INTENT OF THE PROPOSED LANDSCAPE DESIGN IS TO INTEGRATE THE SITE INTO THE SURROUNDING CONTEXTUAL LANDSCAPE CHARACTER AND SURROUNDING COMMUNITY. ALL THE PLANT MATERIAL THAT HAS BEEN SELECTED IS FROM THE APPROVED PLANT LIST IN THE CITY OF MAMMOTH AND WILL BE NATIVE TO THE AREAS.

3. BUFFERING AND SCREENING HAS BEEN APPLIED WHERE NECESSARY TO APPLY VISUAL RELIEF TO ADJACENT PROPERTIES.

4. BOULDERS SHOWN ON THE PLAN ARE SALVAGED FROM THE EXISTING SITE. CONTRACTOR TO HAVE A METHOD OF STORING AND SALVAGING DURING CONSTRUCTION.



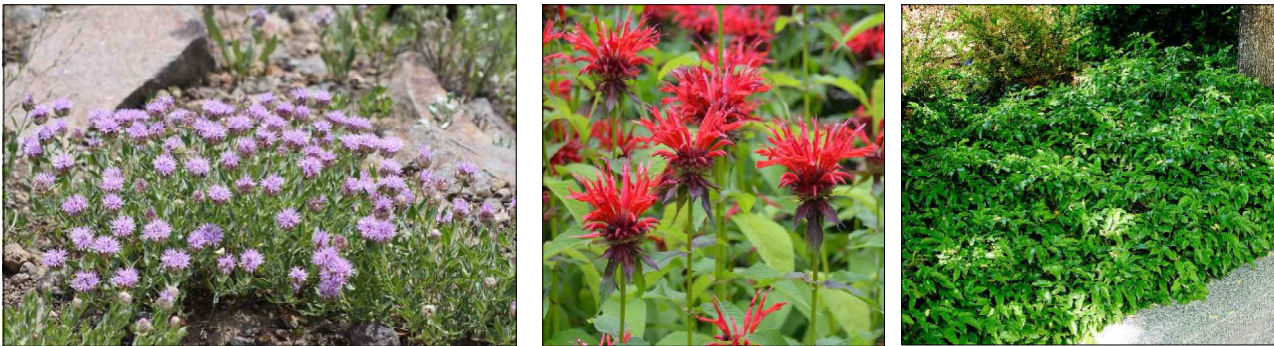
JEFFERY PINE BIGCONE DOUGLAS FIR AMUR MAPLE



BORDER FORSYTHIA MUGO PINE KINNIKINNICK BLACK CHOKEBERRY



SULFERFLOWER BUCKWHEAT TICKSEED LITTLE LANTERNS
EASTERN COLUMBINE



MOUNTAIN COYOTE MINT CALIFORNIA POPPY COMPACT OREGON
GRAPE



SKUNKBUSH SUMAC RUGOSA ROSE TEXAS
HUMMINGBIRD MINT COMMON LILAC

SIERRA NEVADA RESORT
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**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

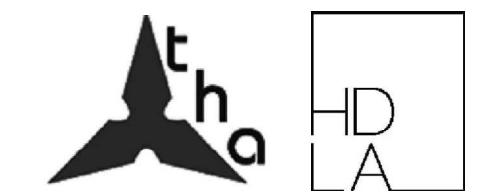
SHEET DATE: 11/17/21
REVISIONS

DRAWN: DO, MP
CHECKED: JS
PROJECT No. 2116

SHEET TITLE:
OVERALL PLANTING PLAN

ISSUE: DESIGN REVIEW SUBMITTAL

D5.00A



PROJECT ISSUES:		
DESIGN REVIEW SUBMITTAL	11/17/2021	
DESIGN REVIEW RESUBMITTAL	01/28/2022	

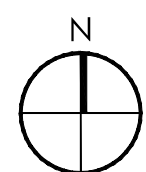
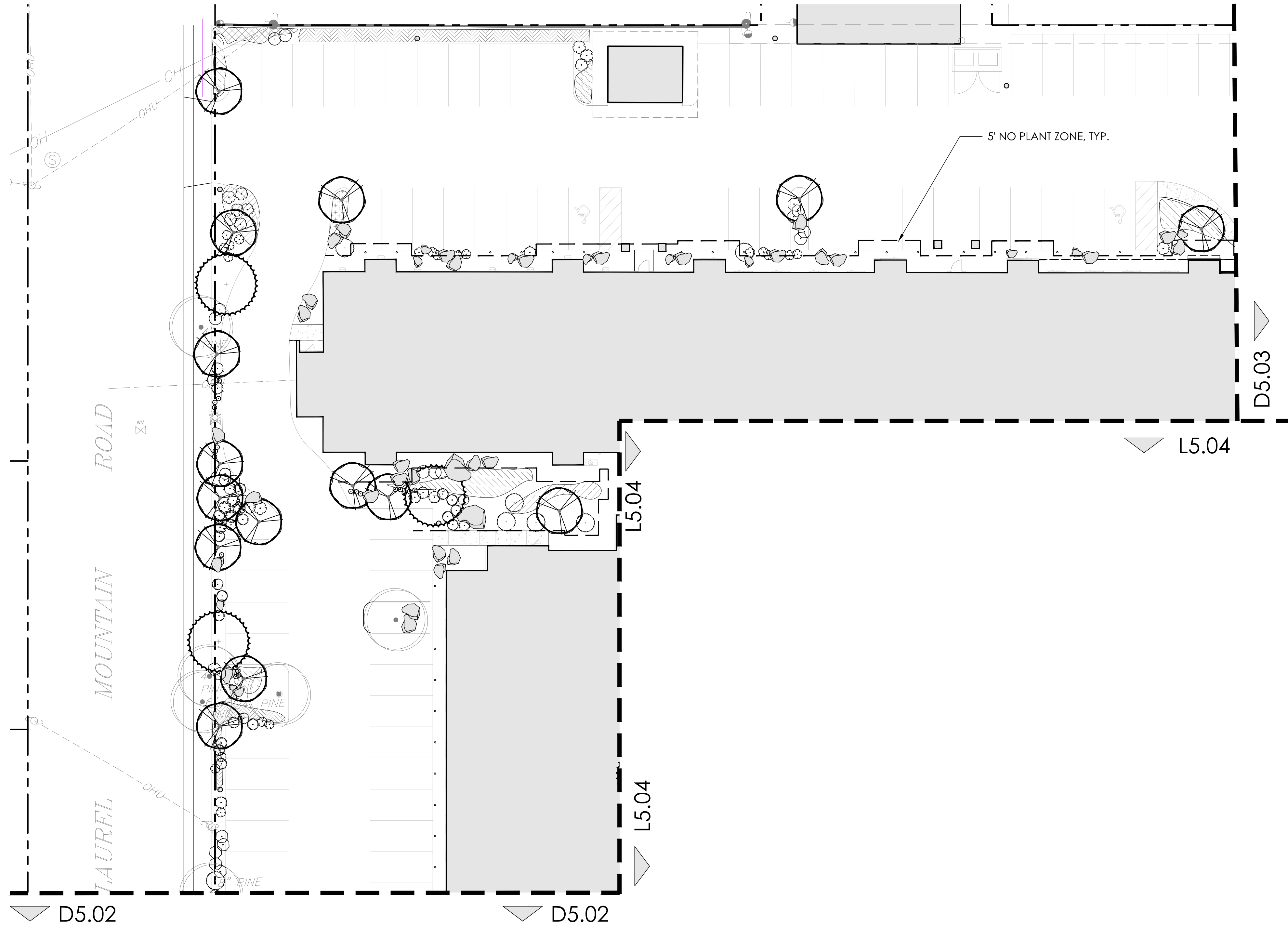
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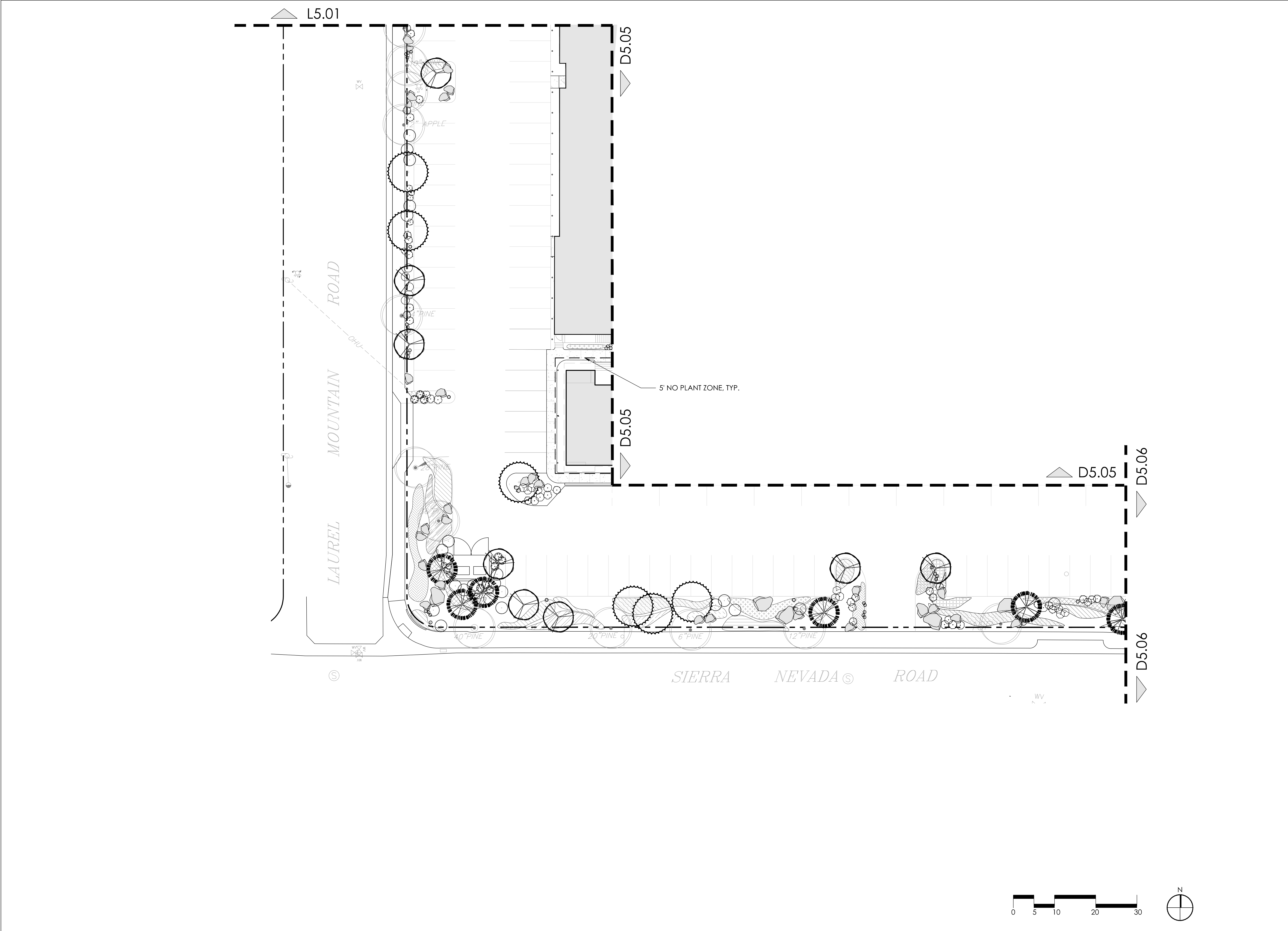
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PROJECT No.	2116

SHEET TITLE:
**NORTH LANDSCAPE PLAN
ENLARGEMENT**

ISSUE: **DESIGN REVIEW SUBMITTAL**

D5.01

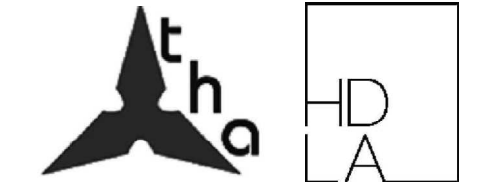




ORIGINAL SHEET SIZE IS 24"x36" | PLOT DATE:

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



PROJECT ISSUES:		
DESIGN REVIEW SUBMITTAL	11/17/2021	
DESIGN REVIEW RESUBMITTAL	01/28/2022	

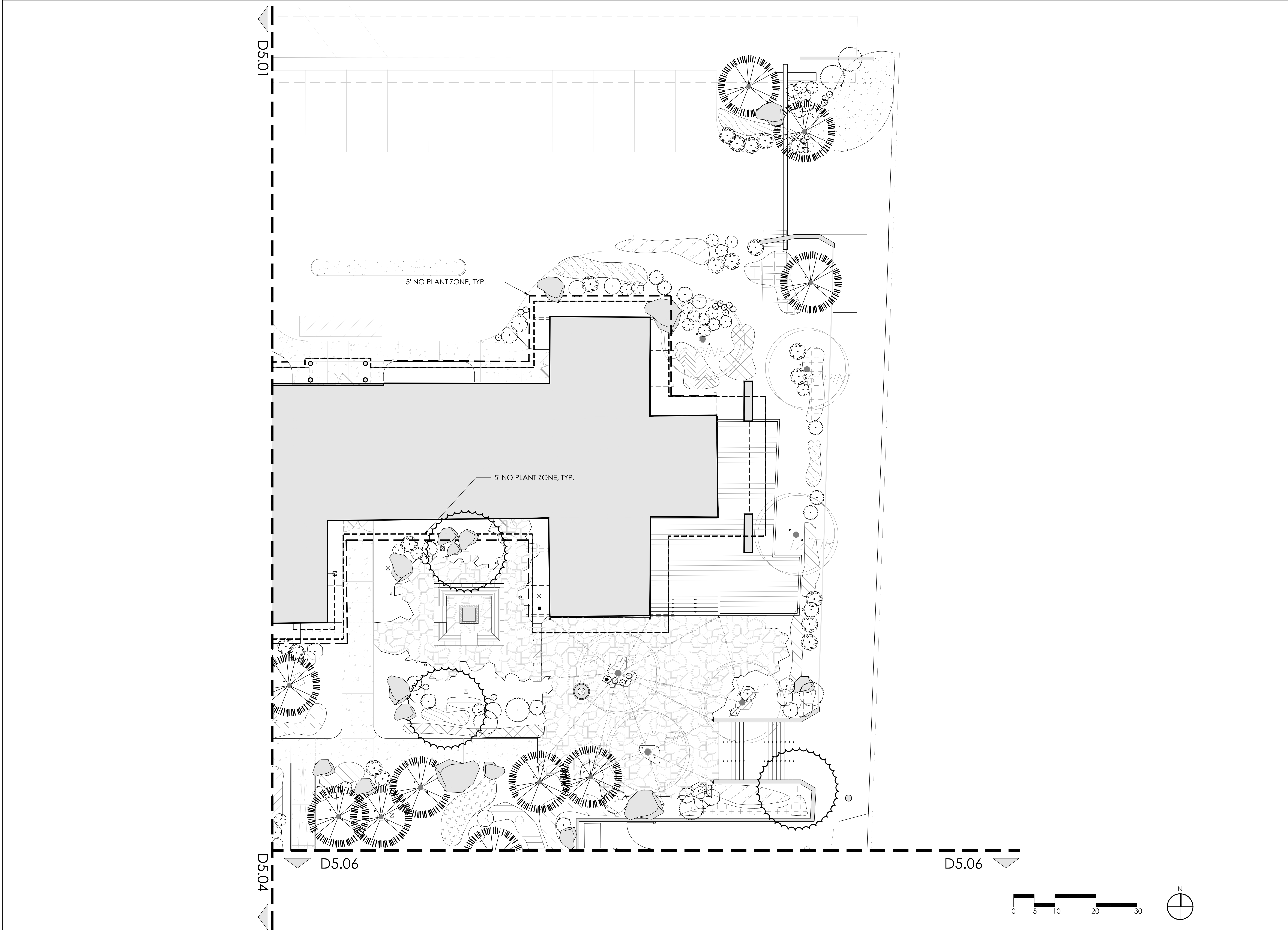
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REVISIONS	

DRAWN:	DO, MP
CHECKED:	JS
PROJECT No.	2116

SHEET TITLE:
**SOUTH LANDSCAPE PLAN
ENLARGEMENT**

ISSUE: **DESIGN REVIEW SUBMITTAL**

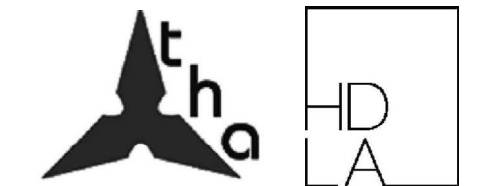
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ORIGINAL SHEET SIZE IS 24"x36" | PLOT DATE:

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
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**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

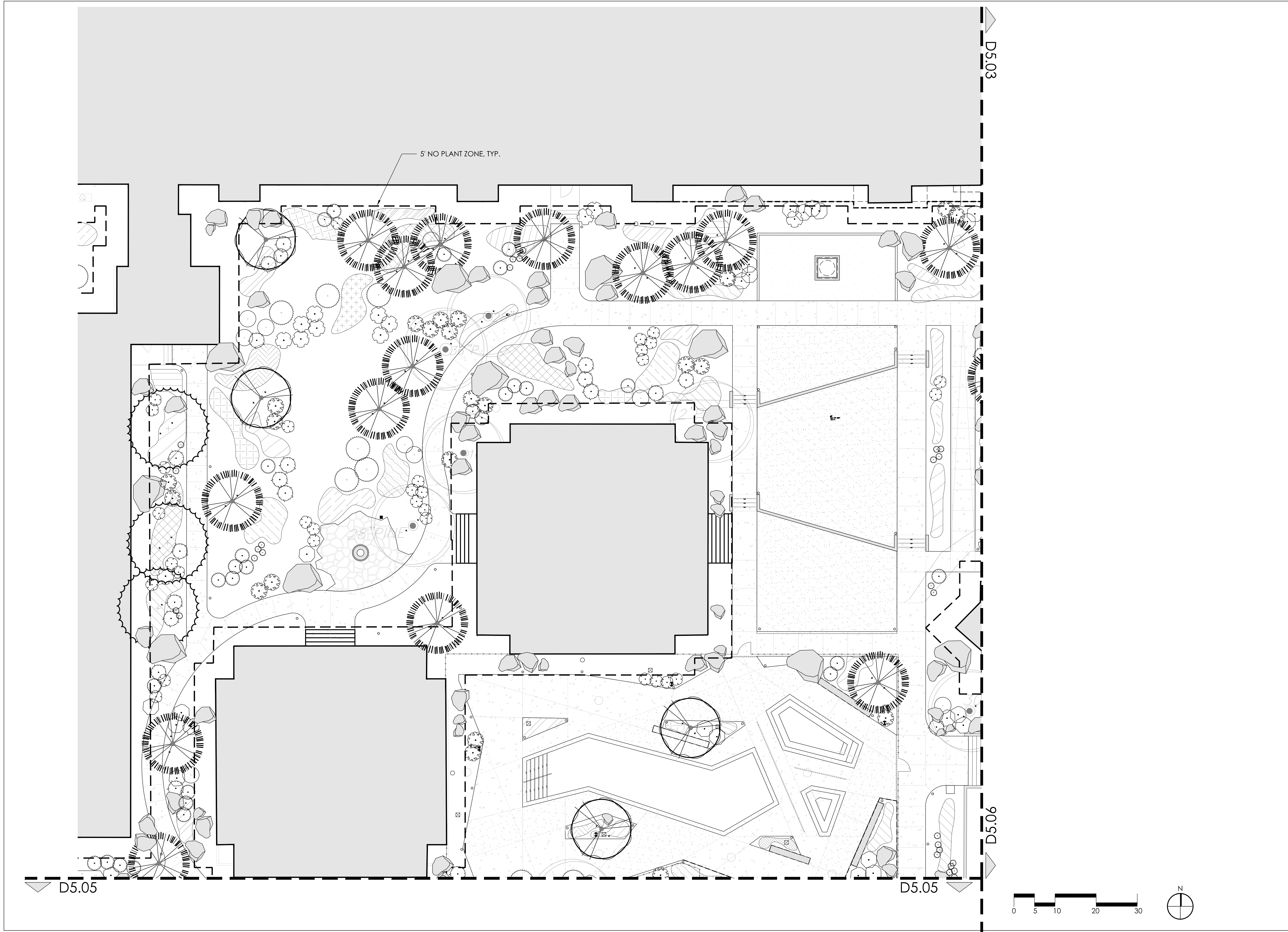
SHEET DATE: 11/17/21
REVISIONS

DRAWN: DO, MP
CHECKED: JS
PROJECT No. 2116

SHEET TITLE:
**HOTEL COURTYARD
LANDSCAPE PLAN
ENLARGEMENT**

ISSUE: DESIGN REVIEW SUBMITTAL

D5.03



ORIGINAL SHEET SIZE IS 24"x36" | PLOT DATE:

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**DESIGN REVIEW
SUBMITTAL**
November 17, 2021

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ARCHITECTURE + DESIGN

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SPRINGBOARD
HOSPITALITY

PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

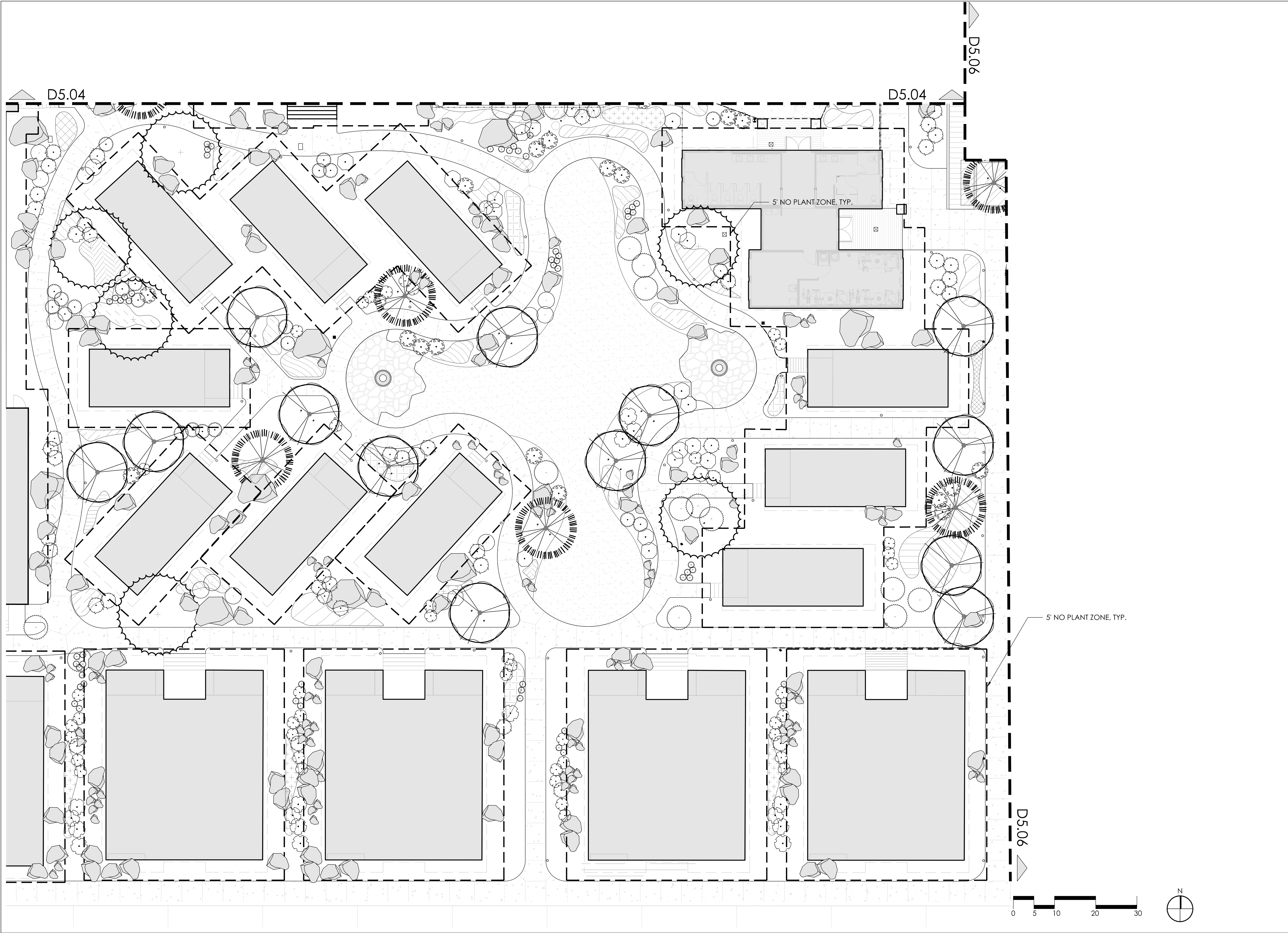
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PROJECT No. 2116

SHEET TITLE:
**INNER COURTYARD
LANDSCAPE PLAN
ENLARGEMENT**

ISSUE: DESIGN REVIEW SUBMITTAL

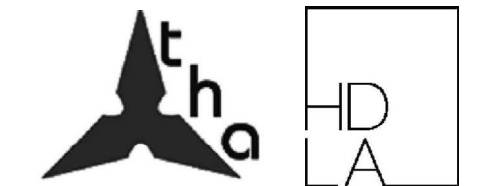
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**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



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ARCHITECTURE + DESIGN

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PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

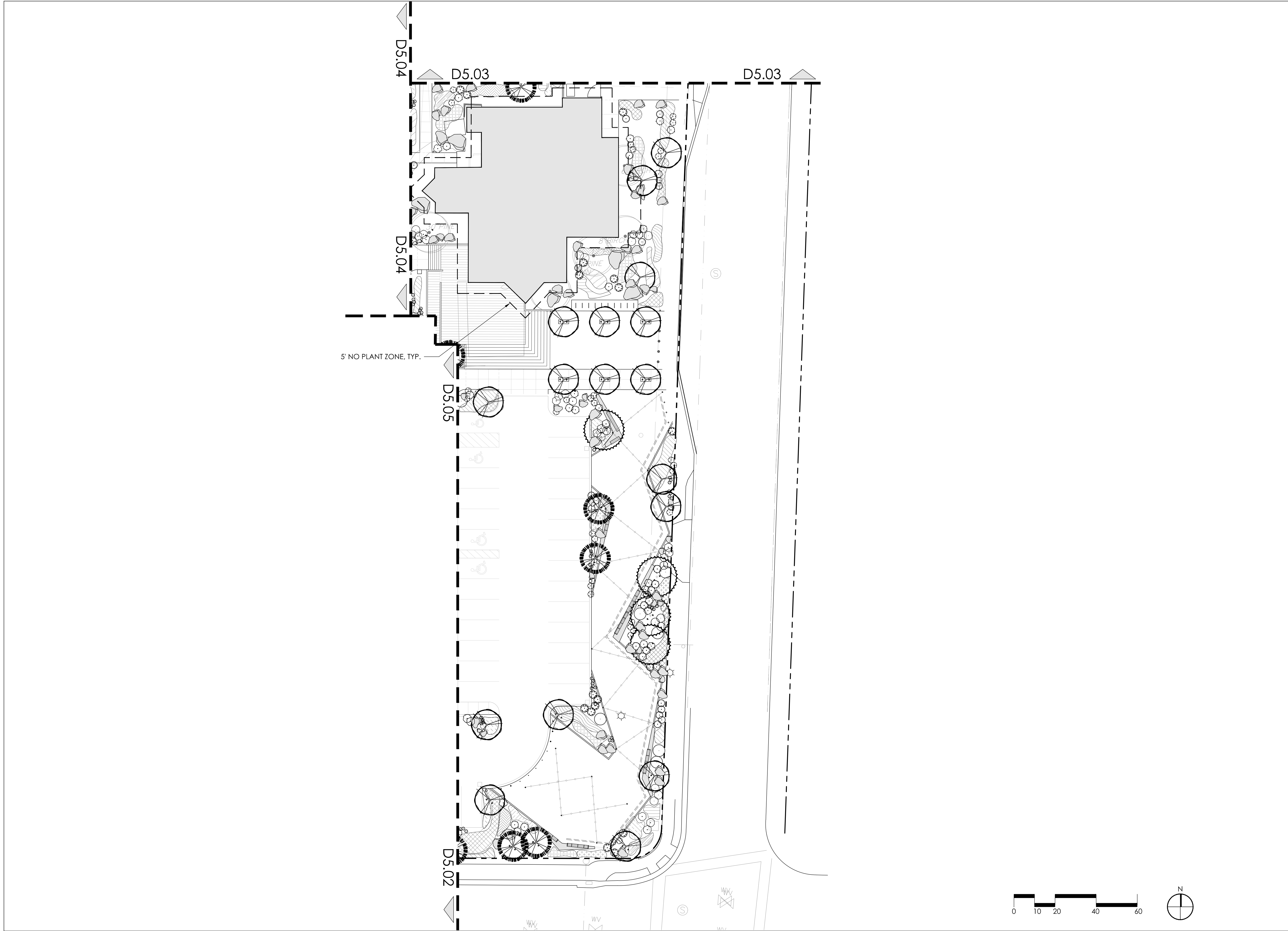
SHEET DATE: 11/17/21
REVISIONS

DRAWN: DO, MP
CHECKED: JS
PROJECT No. 2116

SHEET TITLE:
**CABIN OPEN SPACE
LANDSCAPE PLAN
ENLARGEMENT**

ISSUE: DESIGN REVIEW SUBMITTAL

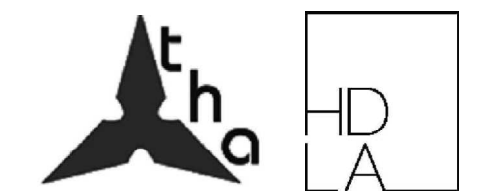
D5.05



ORIGINAL SHEET SIZE IS 24"x36" | PLOT DATE:

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

SHEET DATE: 11/17/21
REVISIONS

DRAWN: DO, MP
CHECKED: JS
PROJECT No. 2116

SHEET TITLE:
**FOOD COURTYARD
LANDSCAPE PLAN
ENLARGEMENT**

ISSUE: DESIGN REVIEW SUBMITTAL

D5.06

PLANTING NOTES

- ALL EXISTING TREES TO BE REMOVED PER DEMOLITION PLAN - SEE CIVIL PLANS. CONTRACTOR TO ACQUIRE TREE REMOVAL PERMIT PRIOR TO CONSTRUCTION.
- TREAT ALL GROUNDCOVER BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. CONTRACTOR IS RESPONSIBLE FOR ALL WEEDING UNTIL FINAL ACCEPTANCE.
- ALL PLANT BEDS TO BE NEATLY LAID IN WITH 3" DEEP TRENCH EDGING BORDER.
- ALL GROUNDCOVER AND PLANT BEDS SHALL MEET LANDSCAPE ARCHITECT'S SPECIFICATIONS. FINAL GRADES FOR ALL PLANT BEDS SHALL BE 1" BELOW EDGE OF WALK OR CURBING SO THAT WHEN 3" OF MULCH IS ADDED THE MULCH WILL BE 2" ABOVE THE WALKS. TAPER MULCH DOWN TO EDGE OF WALK OR CURB.
- ALL AREAS WITHIN PLANT BEDS TO BE MULCHED WITH 3" DEEP LAYER OF DECOMPOSED SHREDDED PINE BARK OR DECORATIVE COBBLE.
- ALL TREES OF A SIMILAR SPECIES TO BE MATCHED IN SIZE AND UNIFORMITY.
- CONTRACTOR TO WARRANTY ALL PLANTINGS FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE BY OWNER. WARRANTY TO INCLUDE ALL DEFECTS INCLUDING DEATH OR UNSATISFACTORY GROWTH; EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF PLANTS UNTIL TIME OF FINAL ACCEPTANCE.
- PROVIDE TREES, SHRUBS, AND PLANTS OF QUALITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. HEIGHT AND WIDTH SHOWN ARE MINIMUM SIZES.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY FROM A MINIMUM OF 6 SUPPLIERS TO LANDSCAPE ARCHITECT. TOGETHER WITH A PROPOSAL FOR USE OF EQUIVALENT MATERIAL PRIOR TO FINAL BID DATE.
- SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK FOR ONE FULL YEAR; SUBMIT PRIOR TO EXPIRATION OF REQUIRED MAINTENANCE PERIOD.
- DELIVER PACKAGED MATERIALS IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED AT THE SITE.
- DELIVER TREES AND SHRUBS AFTER PREPARATIONS FOR PLANTING HAS BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, SET TREES AND SHRUBS IN SHADE. PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP, OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.
- PROVIDE 12" OF MULCH FOR ALL PLANTING AREAS PER LANDSCAPE ARCHITECT'S SPECIFICATIONS. OBTAIN TOPSOIL FROM SOURCES LISTED IN SPECIFICATIONS.
- BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING. MAINTAIN TREES, SHRUBS, AND OTHER PLANTINGS BY PRUNING, WATERING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING, AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- WHEREAS INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED BY LANDSCAPE ARCHITECT AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS PROMPTLY FROM PROJECT SITE.
- ANY AND ALL QUANTITIES INDICATED ON THE PLANT SCHEDULE AND PLAN ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATION AND THE LIABILITY WHICH PERTAINS TO THOSE QUOTATIONS. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- LOCATIONS OF ALL PLANT BEDS AND TREES TO BE STAKED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SCARIFY ALL TREE PITS BEFORE PLANTING. VERIFY THAT ALL TREE PITS ADEQUATELY DRAIN BEFORE PLANTING TREES.
- IF ROCK IS ENCOUNTERED, CONTRACTOR TO REMOVE ROCK AND PROVIDE DRAINAGE AWAY FROM EACH TREE PIT.
- SHRUBS AND GROUNDCOVER BEDS TO BE PLANTED IN A TRIANGULAR SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.
- PROVIDE TRUE RADII FOR THE LAYOUT OF ALL PLANT BEDS.
- REFER TO PROJECT MANUAL REGARDING TREE FERTILIZATION AND PRUNING.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH FULLY AUTOMATED IRRIGATION SYSTEM. REFER TO L6.00 SERIES
- DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO THE FAILURE TO GIVE SUCH NOTIFICATION PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES AND OUT OF DRAINAGE FLOW LINES AND THREE (3) FEET FROM SPRAY HEADS. SHOULD THIS NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR A DECISION ON TREE PLACEMENT.
- INSTALL ROOT BARRIER IF CENTER OF TREE TRUNK IS WITHIN 5' OF ANY CURBS OR SIDEWALKS.
- DO NOT PLANT ON TOP OF TREE ROOTBALLS UNLESS DIRECTED BY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SUBMIT FOR APPROVAL, PHOTOS OF ALL BOXED TREES AND SHRUB, AND VINES. SEE SPECIFICATIONS FOR FURTHER DETAIL.
- LANDSCAPE ARCHITECT SHALL HAVE THE OPPORTUNITY TO INSPECT ALL PLANT MATERIALS AT THE JOB SITE PRIOR TO PLANTING.
- UPON COMPLETION OF PLANTING, THE CONTRACTOR SHALL ARRANGE FOR A SUBSTANTIAL COMPLETION INSPECTION BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL CORRECT ANY DISCREPANCIES FOUND PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF THE PROJECT.
- LANDSCAPE CONTRACTOR SHALL FIELD VERIFY LOCATION OF POWER POLE/LIGHT POLE AND WIRES PRIOR TO PLACEMENT OF TREES TO AVOID CONFLICT. TREES MUST BE A MINIMUM 15' DISTANCE FROM POWER POLE/LIGHT POLE. ONLY UNDERSTORY TREES ARE PERMITTED UNDER POWERLINES.
- NO TREES OR LARGE SHRUBS SHALL BE PLANTED IN EASEMENT ON SITE.

PLANTING SCHEDULE NOTES

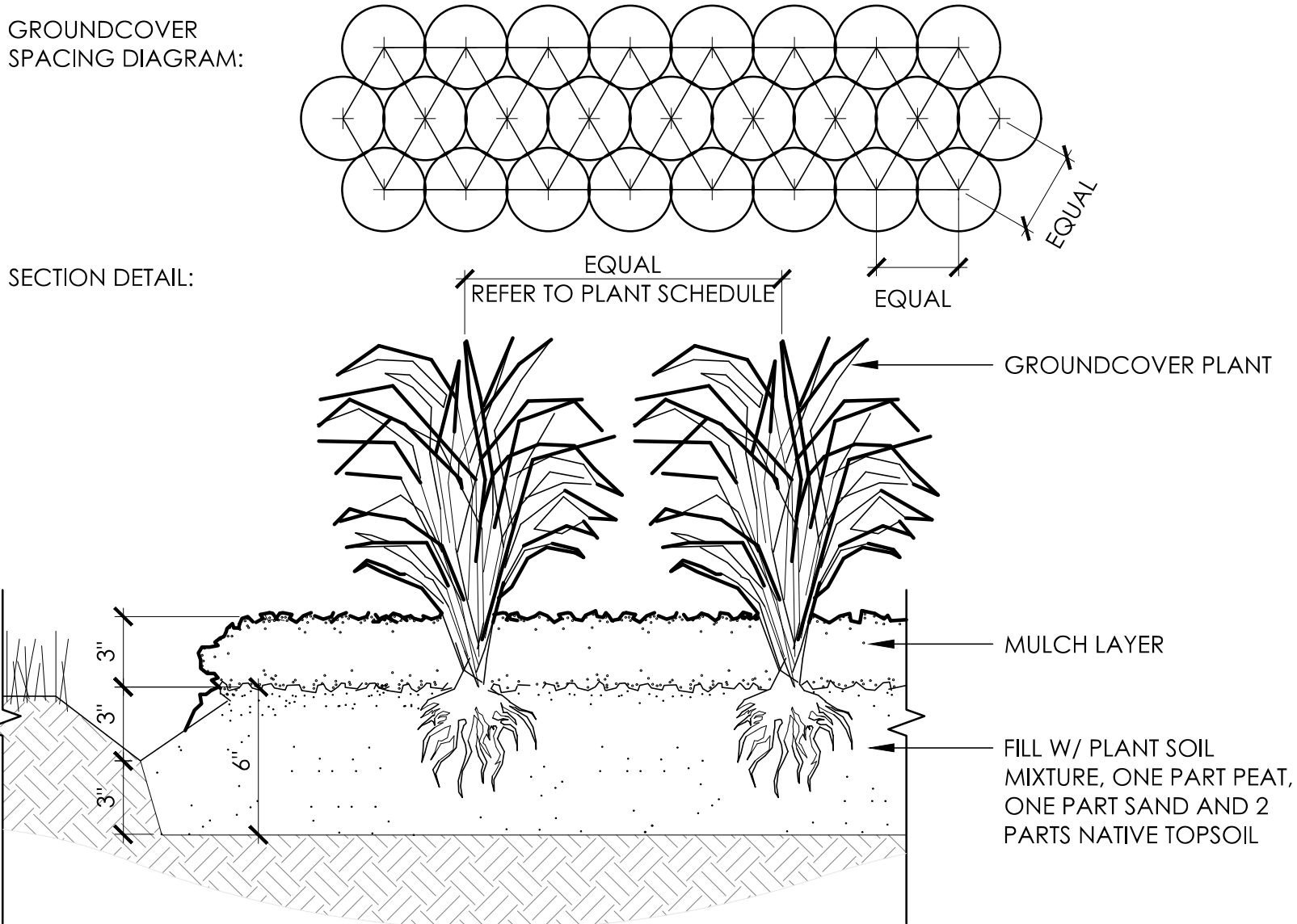
- TREES TO BE OF THE HIGHEST GRADE AND PURCHASED FROM THESE SELECTED VENDORS ONLY:
 - SELECT TREES
 - CRAWFORD, GA - (706)743-5124
 - BOLD SPRINGS NURSERY
 - HAWKINSVILLE, GA - (478)783-4975
 - SHADY GROVE PLANTATION AND NURSERY
 - ORANGEBURG, SC - (803)534-5683
 - WATKINS NURSERIES
 - MIDLOTHIAN, VA. - (804)379-8733
 - HUNTER TREES NURSERY, LLC.
 - BIRMINGHAM, AL - (866)348-6837
 - HAWKERSMITH NURSERY
 - TULLAHOMA, TN - (931)455-5436
 - SOUTHEASTERN GROWERS, INC.
 - WATKINSVILLE, GA - (706)310-1151
 - PLANTATION TREE CO.
 - SELMA, AL - (334)875-9176
- IF TREES ARE NOT AVAILABLE AT THE INDICATED NURSERIES, CONTRACTOR TO SUBMIT ALTERNATIVE NURSERIES. ALL TREES OBTAINED AT LISTED NURSERIES MUST MEET ALL OF THE SPECIFICATIONS REQUIRED



Know what's below.
Call before you dig.

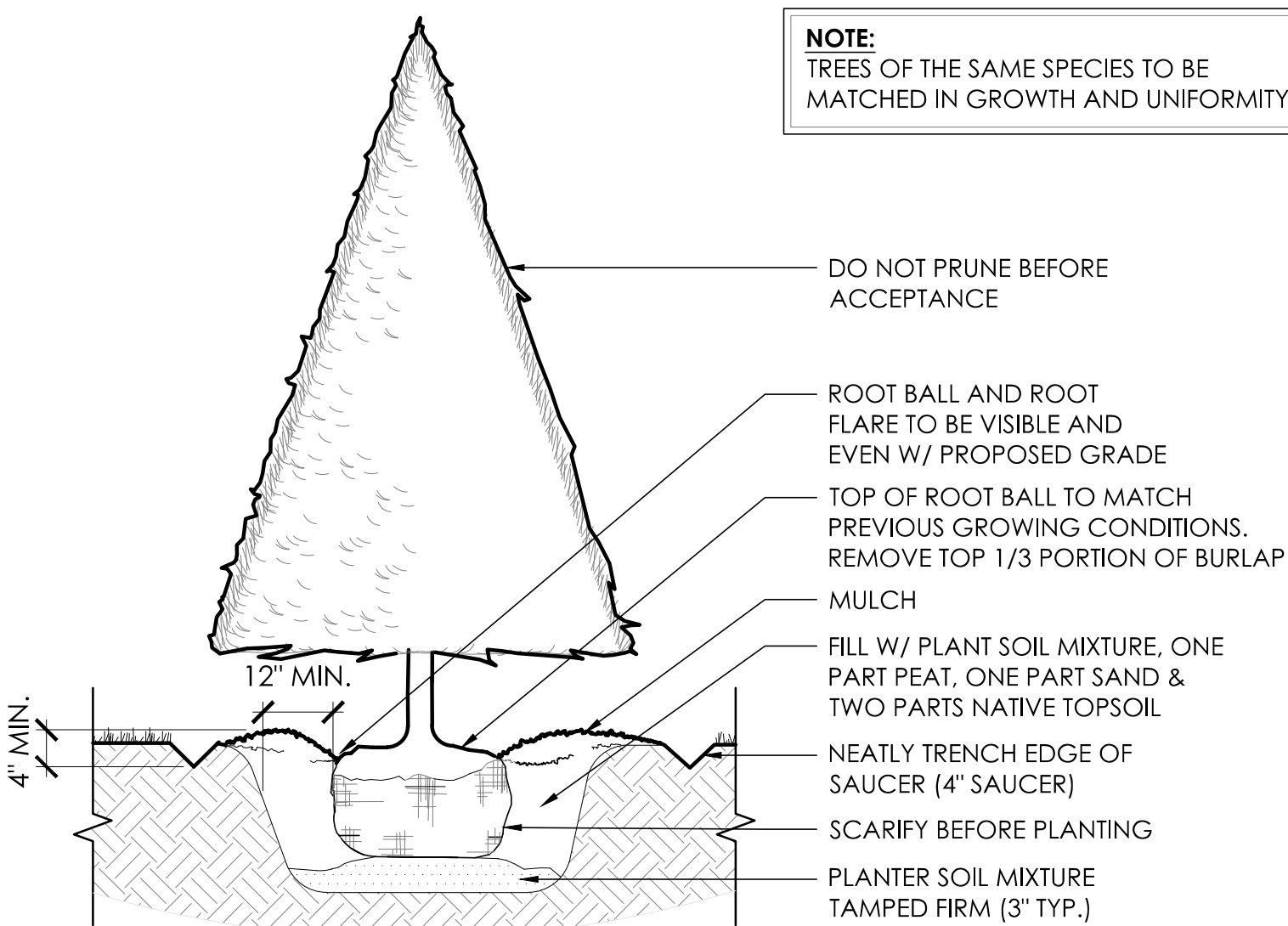
SOILS ANALYSIS NOTE

- PRIOR TO PLANTING, PERFORM AGRONOMIC SOIL TESTING AND SOIL AMENDMENTS PER RECOMMENDATION BY SOIL LABORATORIES; REFER TO NOTES BELOW AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE SOIL SAMPLES TAKEN FROM (3) AREAS WITHIN THE WHOLE SITE - TRINITY STREETScape, BUILDING COURTYARDS AND POOL AMENITY AREA.
- THE SAMPLES SHALL BE TESTED BY A LICENSED SOILS LABORATORY. FOR SOIL FERTILITY, AGRICULTURAL SUITABILITY, N-P-K, PH, EC, SOIL TEXTURE (SILT, CLAY, SAND) AND SOIL PREPARATION RECOMMENDATIONS. THE RESULTS AND RECOMMENDATIONS OF THE SOIL TESTING LABORATORY SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT. THE APPROVED RECOMMENDATIONS FOR AMENDMENTS AND BACKFILL SHALL BECOME PART OF THE LANDSCAPE PLANS AND INCORPORATED INTO THE LANDSCAPE PLANTING AREAS PRIOR TO INSTALLATION OF PLANT MATERIALS.



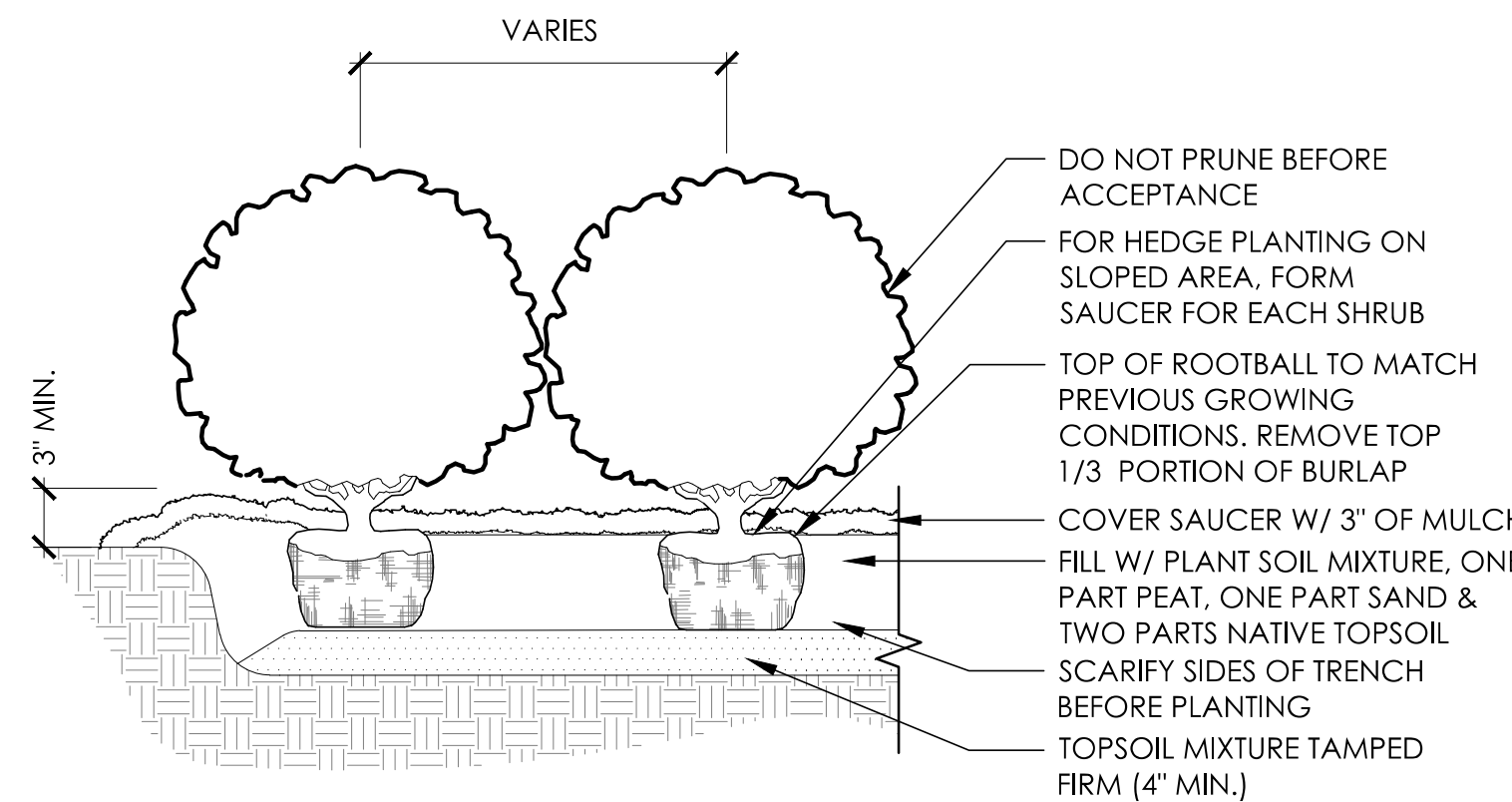
3 GROUNDCOVER PLANTING

NOT TO SCALE



5 EVERGREEN TREE PLANTING

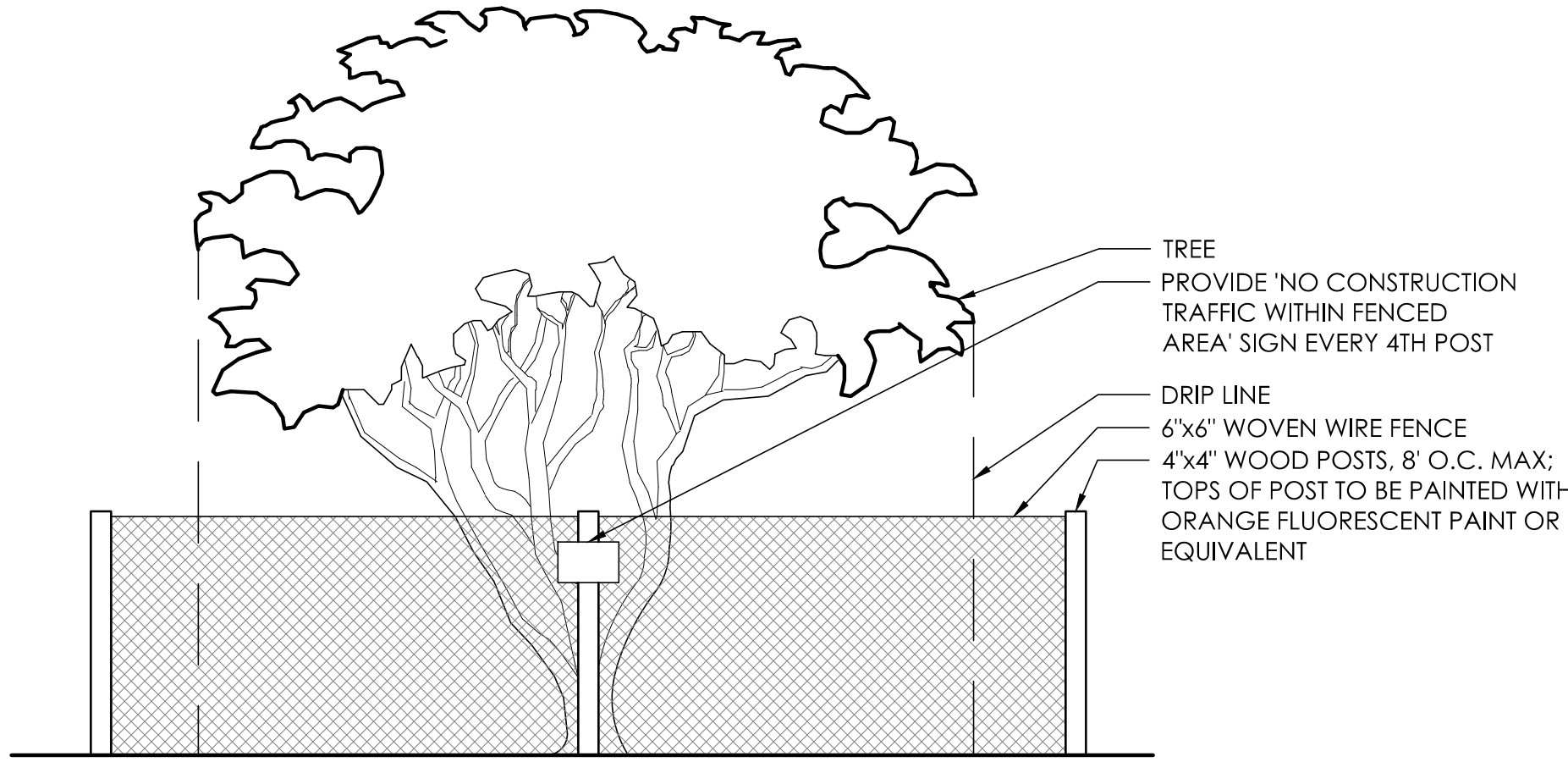
NOT TO SCALE



2 SHRUB PLANTING

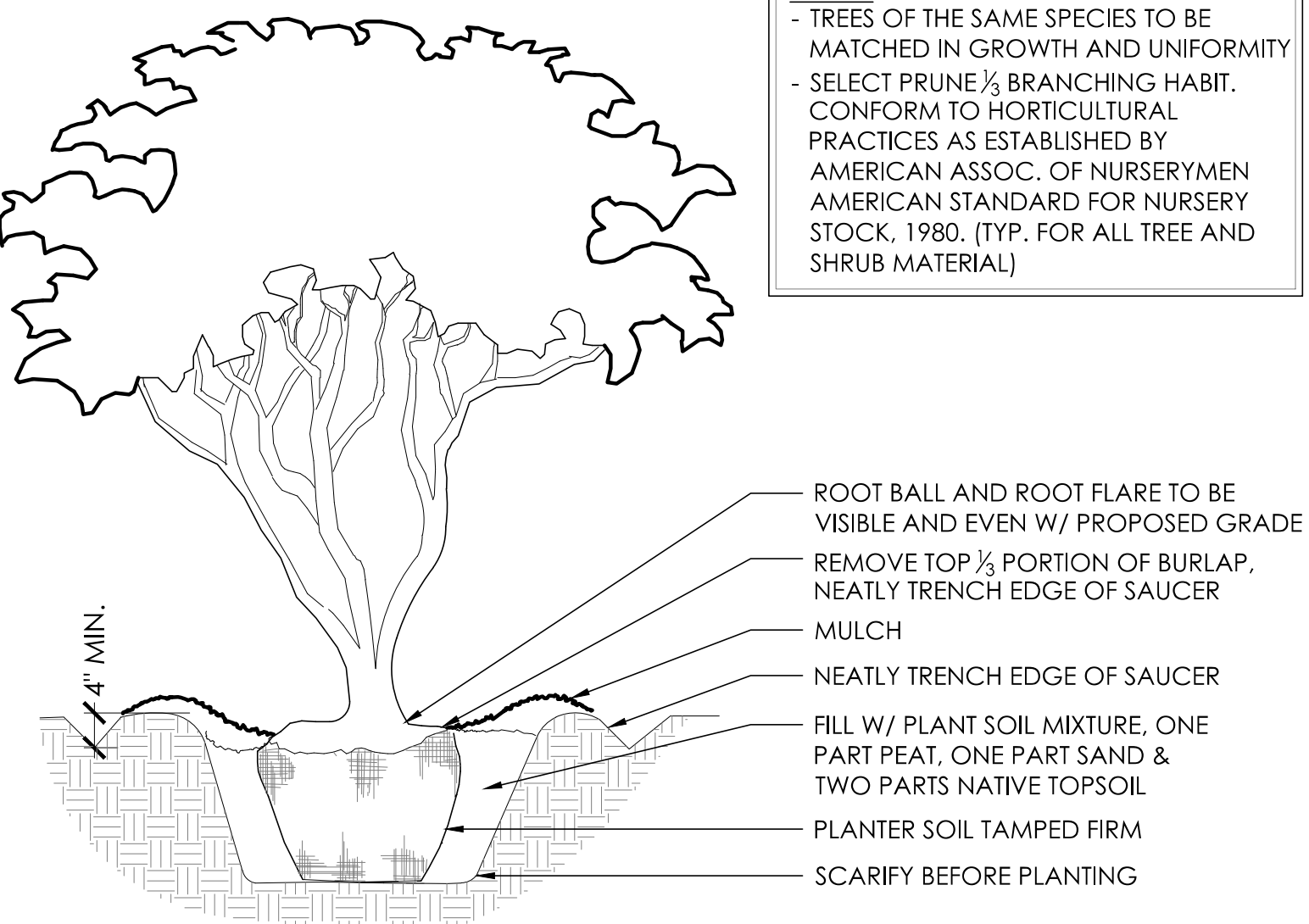
NOT TO SCALE

- NOTES:
- TREE PROTECTION TO BE INSTALLED AT MINIMUM DISTANCE OF TWO TIMES THE RADIUS OF THE DRIP LINE
 - ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT
 - ANY REQUIRED EXCAVATION IN OR AROUND THE PROTECTION ZONE TO ACCOMMODATE UNDERGROUND SERVICES, FOOTINGS, ETC., SHALL BE INDICATED ON THE PLAN & SHALL BE EXCAVATED BY HAND. IN ADDITION, RELATED ROOT PRUNING SHALL BE ACCOMPLISHED VIA ANSI A-300-95 STANDARD SO AS TO MINIMIZE IMPACT ON THE GENERAL ROOT SYSTEM
 - THE STORAGE OF BUILDING MATERIALS OR STOCKPILING SHALL NOT BE PERMITTED WITHIN THE LIMITS OF OR AGAINST THE PROTECTION BARRIERS
 - TREES WITHIN THE PROTECTION BARRIERS MUST BE ADEQUATELY CARED FOR THROUGHOUT THE CONSTRUCTION PROCESS (I.E. THEY MUST BE WATERED SUFFICIENTLY, PARTICULARLY IF THE TREE'S ROOT SYSTEM HAS BEEN DISTURBED BY EXCAVATION). FILL SHALL NOT BE PLACED UPON THE ROOT SYSTEM IN SUCH A MANNER AS TO ENDANGER THE HEALTH OR LIFE OF THE AFFECTED TREE



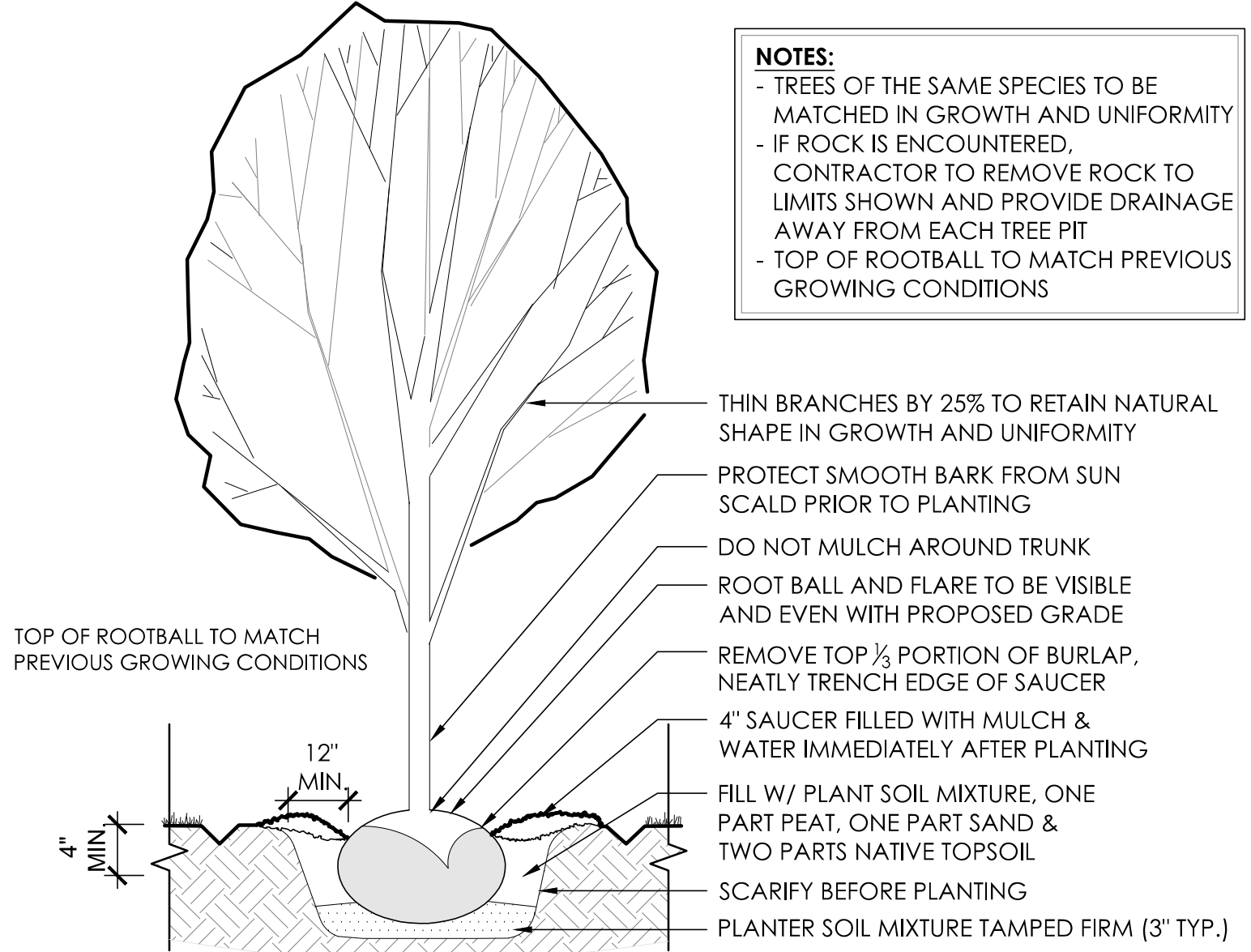
6 TREE PROTECTION

NOT TO SCALE



4 ORNAMENTAL TREE PLANTING

NOT TO SCALE



1 TREE PLANTING

NOT TO SCALE

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

DESIGN REVIEW
SUBMITTAL
November 17, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

SHEET DATE: 11/17/21
REVISIONS

DRAWN: DO, MP
CHECKED: JS
PROJECT No. 2116

SHEET TITLE:
PLANTING DETAILS AND
NOTES

ISSUE: DESIGN REVIEW SUBMITTAL

D5.07

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT/ CAL.	HEIGHT	SPREAD	SPACING	REMARKS
AG	Acer ginnala	Amur Maple	B&B - 2"	8'- 10'	4' - 6'	As shown	FULL CROWN, MATCHED, STRONG CENTRAL LEADER
PJ	Pinus jeffreyi	Jeffrey Pine	B&B - 3"	12' - 14'	6' - 8'	As shown	DENSE FOLIAGE, MATCHED, STRONG CENTRAL LEADER
PM	Pseudotsuga macrocarpa	Bigcone Douglas Fir	B&B - 2.5"	12' - 14'	6' - 8'	As shown	DENSE FOLIAGE, MATCHED, STRONG CENTRAL LEADER
SHRUBS	BOTANICAL NAME	COMMON NAME		HEIGHT	SPREAD	SPACING	
AM	Aronia melanocarpa	Black Chokeberry		36"	36"	36" o.c.	MATCHED, FULL TO GROUND
FI	Forsythia x intermedia	Border Forsythia		24"	24"	36" o.c.	MATCHED, FULL TO GROUND
IV	Ilex vomitoria	Yaupon Holly		36"	48"	72" o.c.	MATCHED, FULL TO GROUND
PS	Pinus mugo 'Slowmound'	Slowmound Mugo Pine		18"	18"	18" o.c.	MATCHED, FULL TO GROUND
PT	Purshia tridentata	Antelope Bitterbrush		36"	36"	36" o.c.	MATCHED, FULL TO GROUND
RT	Rhus trilobata	Skunkbush Sumac		48"	48"	48" o.c.	MATCHED, FULL TO GROUND
RA	Ribes aureum	Golden Currant		42"	42"	42" o.c.	MATCHED, FULL TO GROUND
RR	Rosa rugosa	Rugosa Rose		48"	48"	48" o.c.	MATCHED, FULL TO GROUND
SV	Syringa vulgaris	Common Lilac		48"	48"	48" o.c.	MATCHED, FULL TO GROUND
GROUND COVERS	BOTANICAL NAME	COMMON NAME		HEIGHT	SPREAD	SPACING	
AU	Arctostaphylos uva-ursi	Kinnikinnick		12"	24"	24" o.c.	FULL, DENSELY ROOTED
BA	Berberis aquifolium 'Compacta'	Compact Oregon Grape		24"	24"	24" o.c.	FULL, DENSELY ROOTED
CH	Cotoneaster horizontalis	Rockspray Cotoneaster		18"	24"	24" o.c.	FULL, DENSELY ROOTED
RG	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac		18"	24"	24" o.c.	FULL, DENSELY ROOTED
GRASSES	BOTANICAL NAME	COMMON NAME		HEIGHT	SPREAD	SPACING	
BB	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama		18"	18"	18" o.c.	FULL, DENSELY ROOTED
HC	Hesperostipa comata	Needle and Thread Bunchgrass		24"	24"	24" o.c.	FULL, DENSELY ROOTED
SL	Schizachyrium scoparium	Little Bluestem		36"	24"	24" o.c.	FULL, DENSELY ROOTED
PERENNIALS	BOTANICAL NAME	COMMON NAME		HEIGHT	SPREAD	SPACING	
AC	Agastache cana	Texas Hummingbird Mint		18"	18"	18" o.c.	FULL, DENSELY ROOTED
AL	Aquilegia canadensis 'Little Lanterns'	Little Lanterns Eastern Columbine		12"	12"	12" o.c.	FULL, DENSELY ROOTED
AV	Aquilegia vulgaris	European Columbine		18"	18"	18" o.c.	FULL, DENSELY ROOTED
CG	Coreopsis grandiflora	Tickseed		18"	18"	18" o.c.	FULL, DENSELY ROOTED
ES	Eriogonum umbellatum	Sulfurflower Buckwheat		12"	12"	12" o.c.	FULL, DENSELY ROOTED
EC	Eschscholzia californica	California Poppy		18"	18"	18" o.c.	FULL, DENSELY ROOTED
MO	Monardella odoratissima	Mountain Coyote Mint		18"	18"	18" o.c.	FULL, DENSELY ROOTED
TURF	BOTANICAL NAME	COMMON NAME		HEIGHT	SPREAD	SPACING	
TS	Turf Sod	Drought Tolerant Fescue Blend		SOD			FULL, DENSELY ROOTED

**SIERRA NEVADA RESORT**
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**DESIGN REVIEW
SUBMITTAL**
November 17, 2021



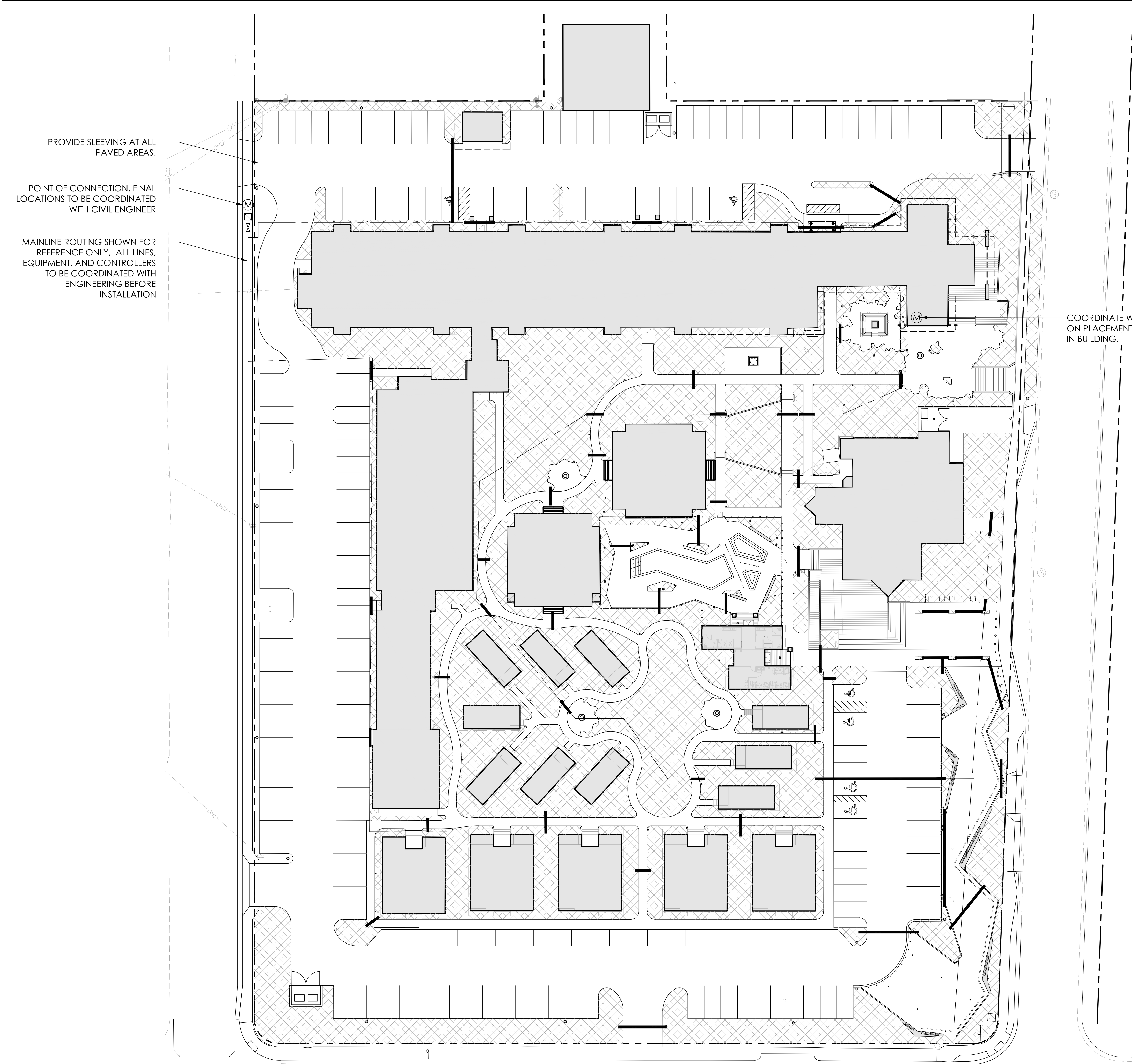
PROJECT ISSUES:		
DESIGN REVIEW SUBMITTAL	11/17/2021	
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SHEET DATE:	11/17/21
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PROJECT No.	2116

SHEET TITLE:
PLANTING SCHEDULE

ISSUE: **DESIGN REVIEW SUBMITTAL**



PROVIDE SLEEVING AT ALL PAVED AREAS.

POINT OF CONNECTION, FINAL LOCATIONS TO BE COORDINATED WITH CIVIL ENGINEER

MAINLINE ROUTING SHOWN FOR REFERENCE ONLY. ALL LINES, EQUIPMENT, AND CONTROLLERS TO BE COORDINATED WITH ENGINEERING BEFORE INSTALLATION

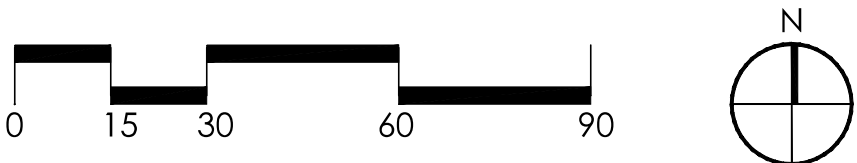
COORDINATE WITH ARCHITECTURE ON PLACEMENT OF CONTROLLERS IN BUILDING.

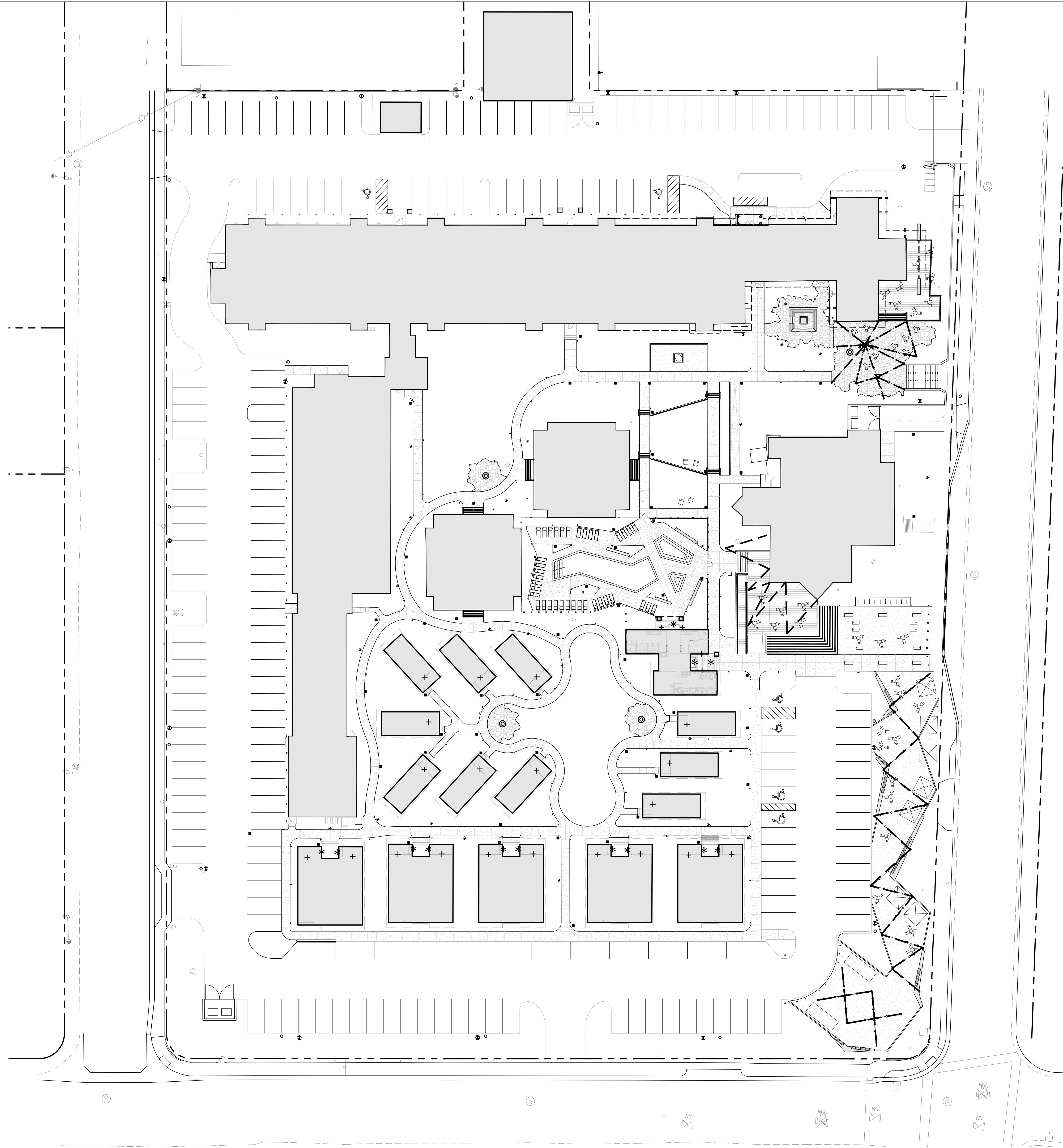
IRRIGATION NOTES

1. REFER TO L5.00 SERIES, LANDSCAPE PLANS, FOR SPECIFIC PLANT TYPES AND LOCATIONS.
2. COORDINATE SITE WATER CONNECTIONS WITH PROJECT CIVIL, M.E.P. ENGINEERS, AND CONTRACTOR.
3. PROVIDE SEPARATE IRRIGATION ZONES FOR TREES, SHRUBS, AND SOD.
4. ALL NON-TURF AREAS TO BE IRRIGATED WITH DRIP IRRIGATION METHODS. ALL TURF AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS.

IRRIGATION LEGEND

EXTENT OF DESIGN BUILD IRRIGATION	
PROPOSED TREE IRRIGATION -TREES ARE TO BE IRRIGATED WITH TWO BUBBLERS PER TREE	
WATER METER	
CONTROLLER	
BACKFLOW PREVENTER	
GATE VALVE	





LIGHTING NOTES

BOLLARDS:
THE INTENTION IS TO PROVIDE "COZY/INTIMATE" LIGHTING THAT WILL GUIDE GUEST THROUGH THE AMENITY SPACES DURING THE EVENING WHILE NOT DETRACTING FROM THE FIRE-PITS AND CABIN LIGHTING. THE VISION IS TO HELP THE OPEN SPACES LOW LIT TO HELP FURTHER ESTABLISH A MORE SECLUDED INTIMATE SPACE THAT GUEST FEEL SAFE. ALL THESE LIGHTS ARE DARK SKY FRIENDLY AND CAN WORK WILL WITH WALL MOUNTED LIGHTS CHOSEN FOR THE ADJACENT BUILDINGS.

STRING LIGHTS:
STRING LIGHTS CAN VARY FROM SPACE TO SOACE, BUT THE OVERALL CONCEPT IS TO PROVIDE OVERHEAD INTIMATE LIGHTING THAT ILLUMINATES THE SPACE WITH A WARM BROADCAST OF LIGHT.

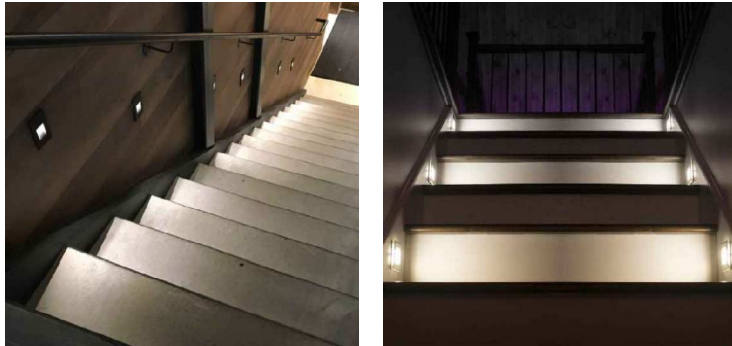
LIGHTING LEGEND

PARKING LOT LIGHTING	●
PRIMARY BOLLARD	●
SECONDARY BOLLARD	●
EXTERIOR CEILING LIGHT	*
SECONDARY BOLLARD	+
WALL/STEP LIGHTING	—
STRING LIGHTING	---

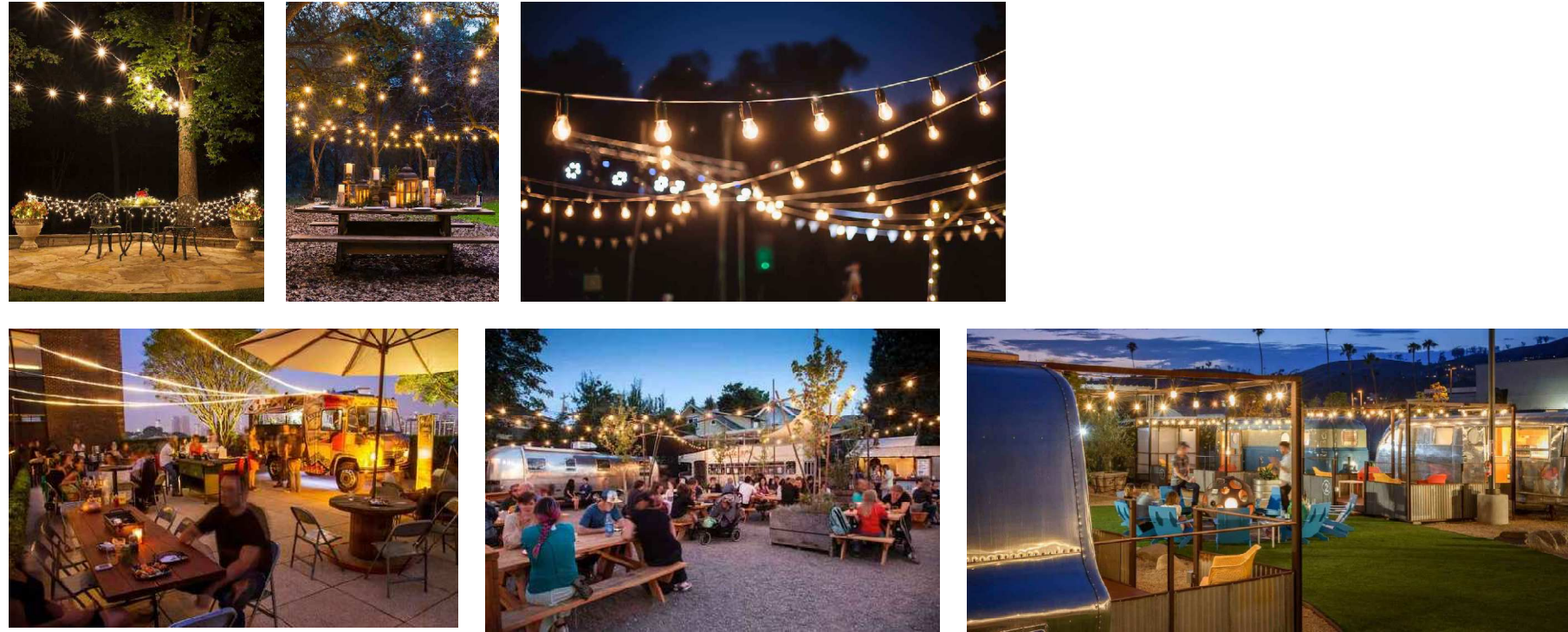
BOLLARD LIGHTING



WALL / STEP LIGHTING



STRING LIGHTING

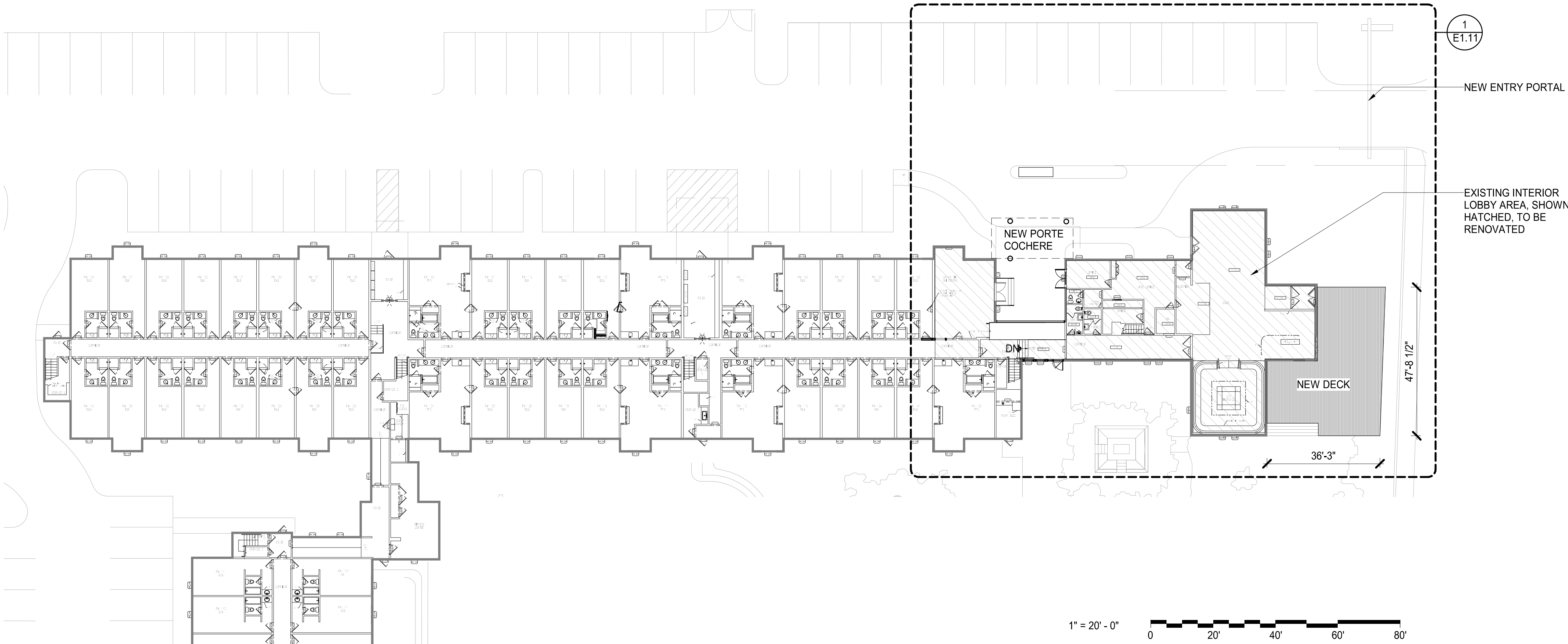


SHEET NOTES

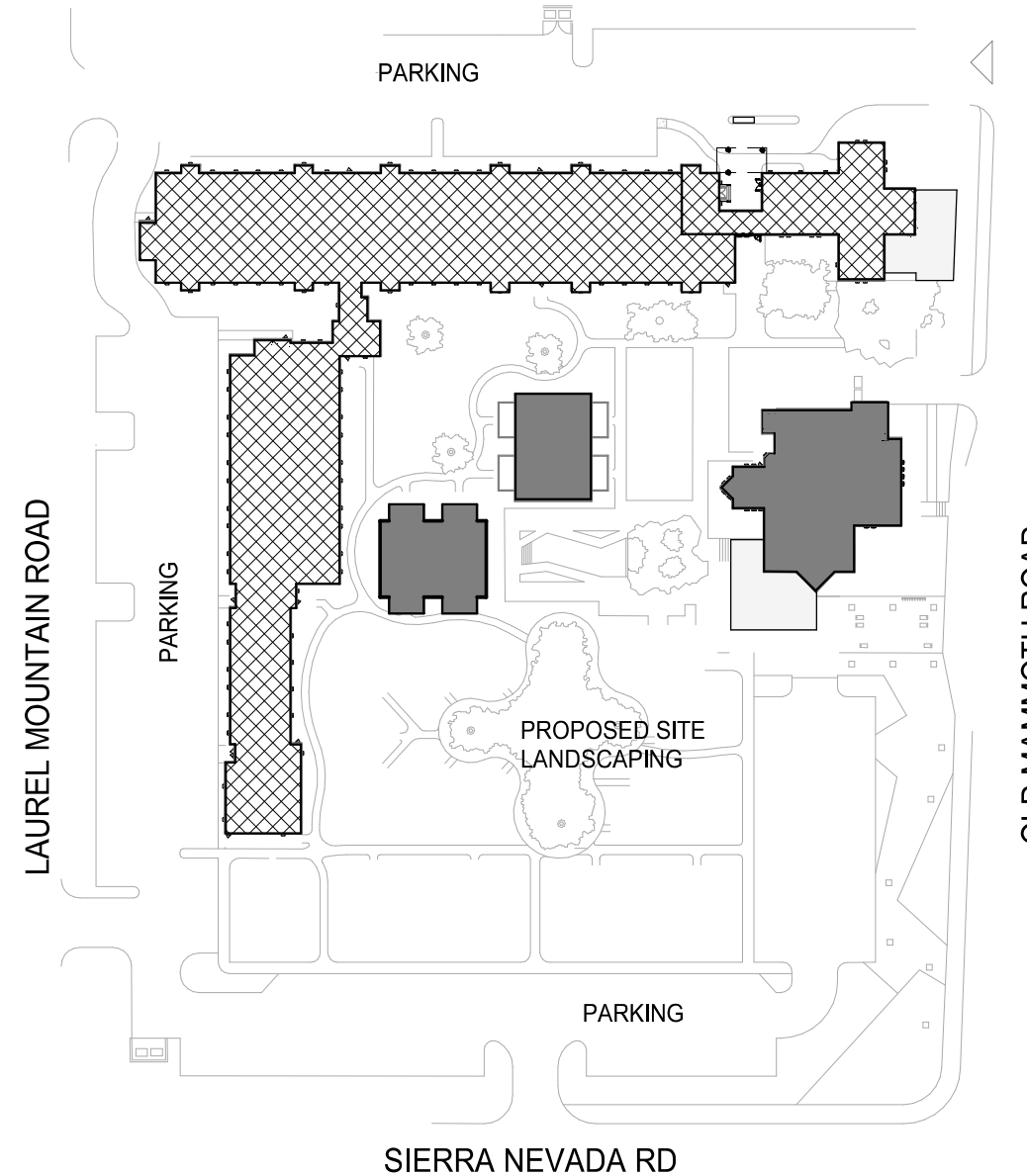
1. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
2. EXISTING BUILDING EXTERIORS TO REMAIN, SEE E4.11 FOR PROPOSED FINISHES.
3. REFER TO CIVIL C-SERIES SHEETS AND LANDSCAPE D-SERIES SHEETS FOR PROPOSED SITE WORK.
4. REFER TO F-SERIES SHEETS FOR PROPOSED CABINS AND POOL SCOPE.

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
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DESIGN REVIEW
SUBMITTAL
November 1, 2021



LEVEL 1 - HOTEL
SCALE: 1" = 20'-0" 2 E1.01



KEY - SITE PLAN (HOTEL)
SCALE: 1" = 100'-0" 1 E1.01

WALL TYPES

- EXISTING WALL
 - NON-RATED WALL (NEW)
 - 1-HOUR FIRE PROTECTED WALL
 - 1-HOUR RATED FIRE PARTITION
 - 1-HOUR RATED FIRE BARRIER
 - 2-HOUR RATED FIRE BARRIER / FIRE BARRIER
 - 2-HOUR FIRE PROTECTED WALL
 - 3-HOUR RATED FIRE WALL
 - CONCRETE WALL
 - CONCRETE MASONRY UNIT WALL
- PARTITION TYPE: SEE 'PARTITION TYPE NAMING CONVENTION' ON A8.01
- MODIFIER: SEE PARTITION COMPONENT MATRIX ON A8.01
- FIRE RATING (HRS)

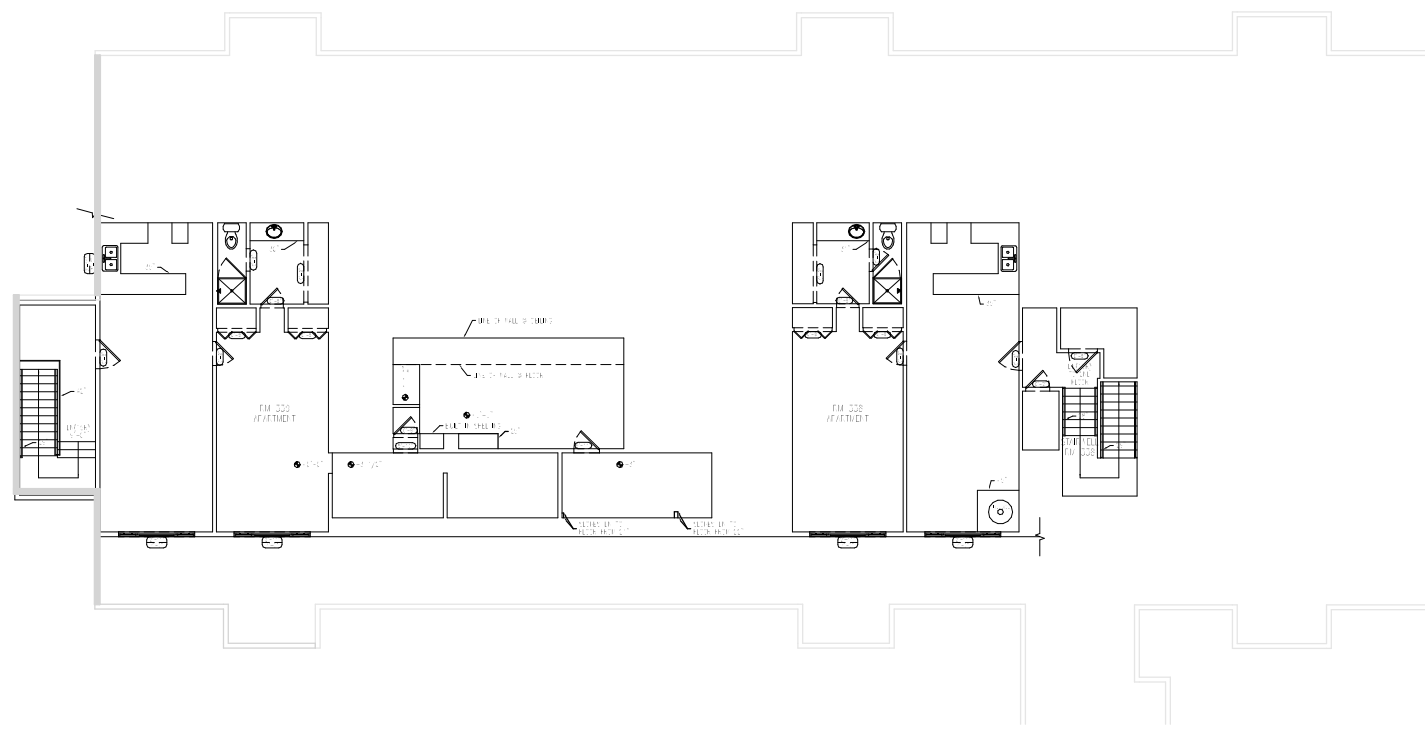
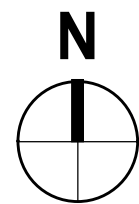
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4. REFER TO F-SERIES SHEETS FOR PROPOSED CABINS AND POOL SCOPE.

WALL TYPES

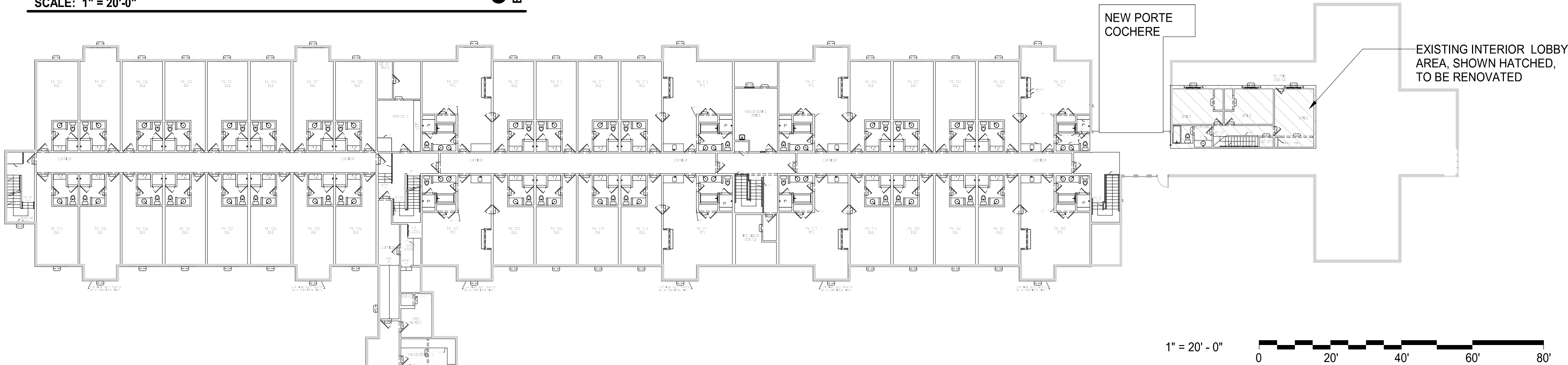
- EXISTING WALL
- NON-RATED WALL (NEW)
- 1-HOUR FIRE PROTECTED WALL
- 1-HOUR RATED FIRE PARTITION
- 1-HOUR RATED FIRE BARRIER
- 2-HOUR RATED FIRE BARRIER / FIRE BARRIER
- 2-HOUR FIRE PROTECTED WALL
- 3-HOUR RATED FIRE WALL
- CONCRETE WALL
- CONCRETE MASONRY UNIT WALL

- PARTITION TYPE: SEE 'PARTITION TYPE NAMING CONVENTION' ON A8.01
- MODIFIER: SEE PARTITION COMPONENT MATRIX ON A8.01
- FIRE RATING (HRS)



LEVEL 3 - HOTEL
SCALE: 1" = 20'-0"

3
E1.02



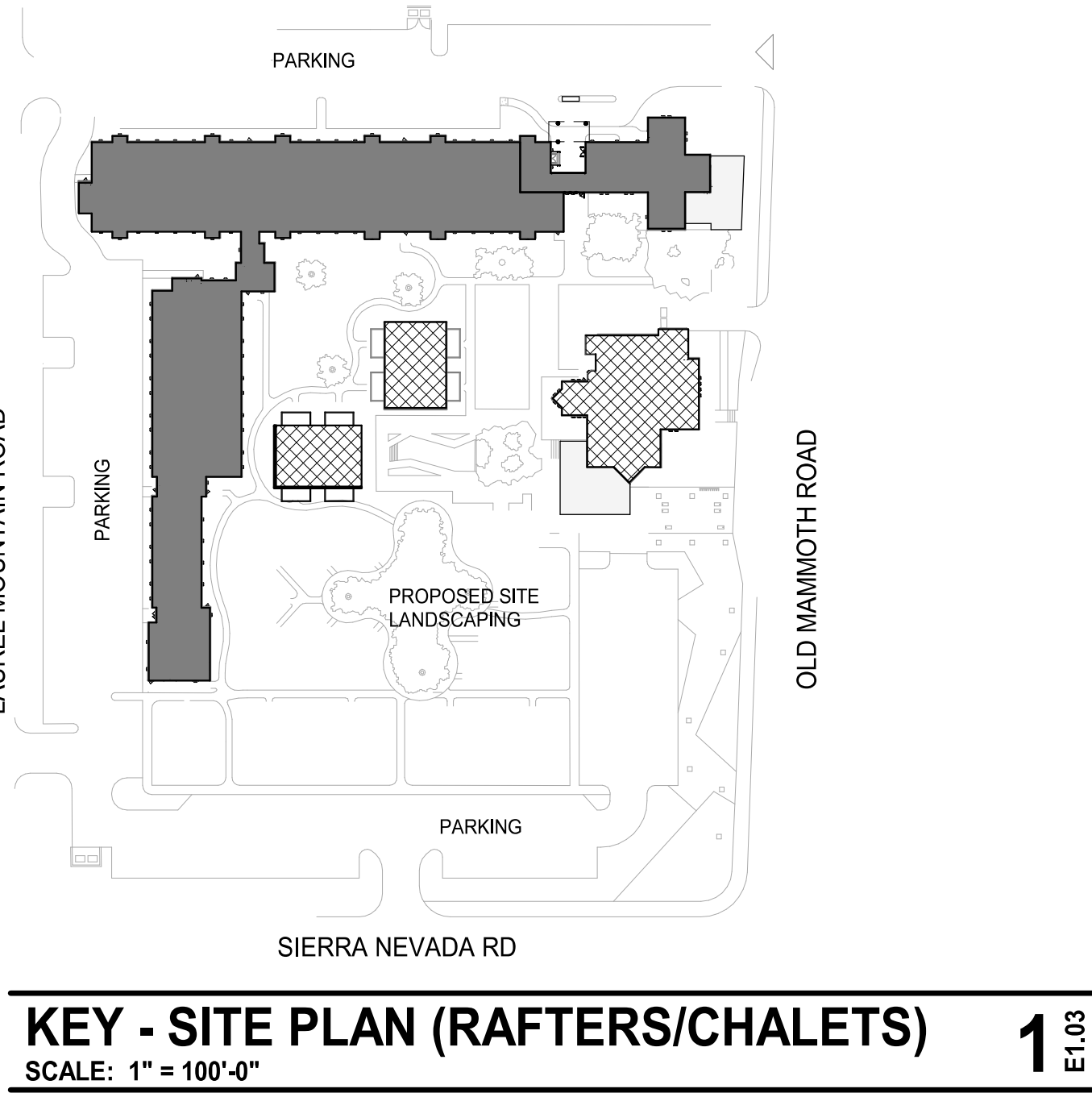
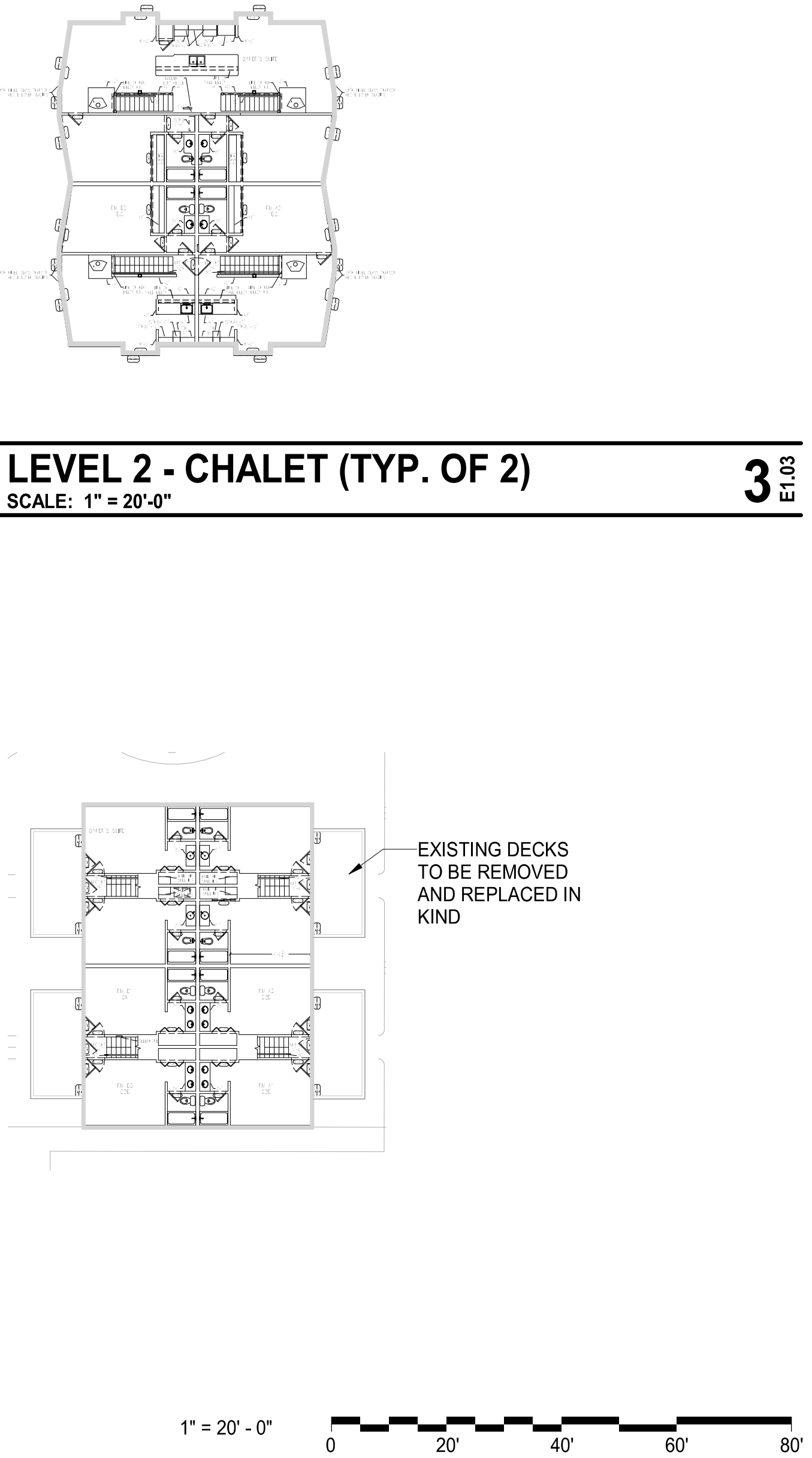
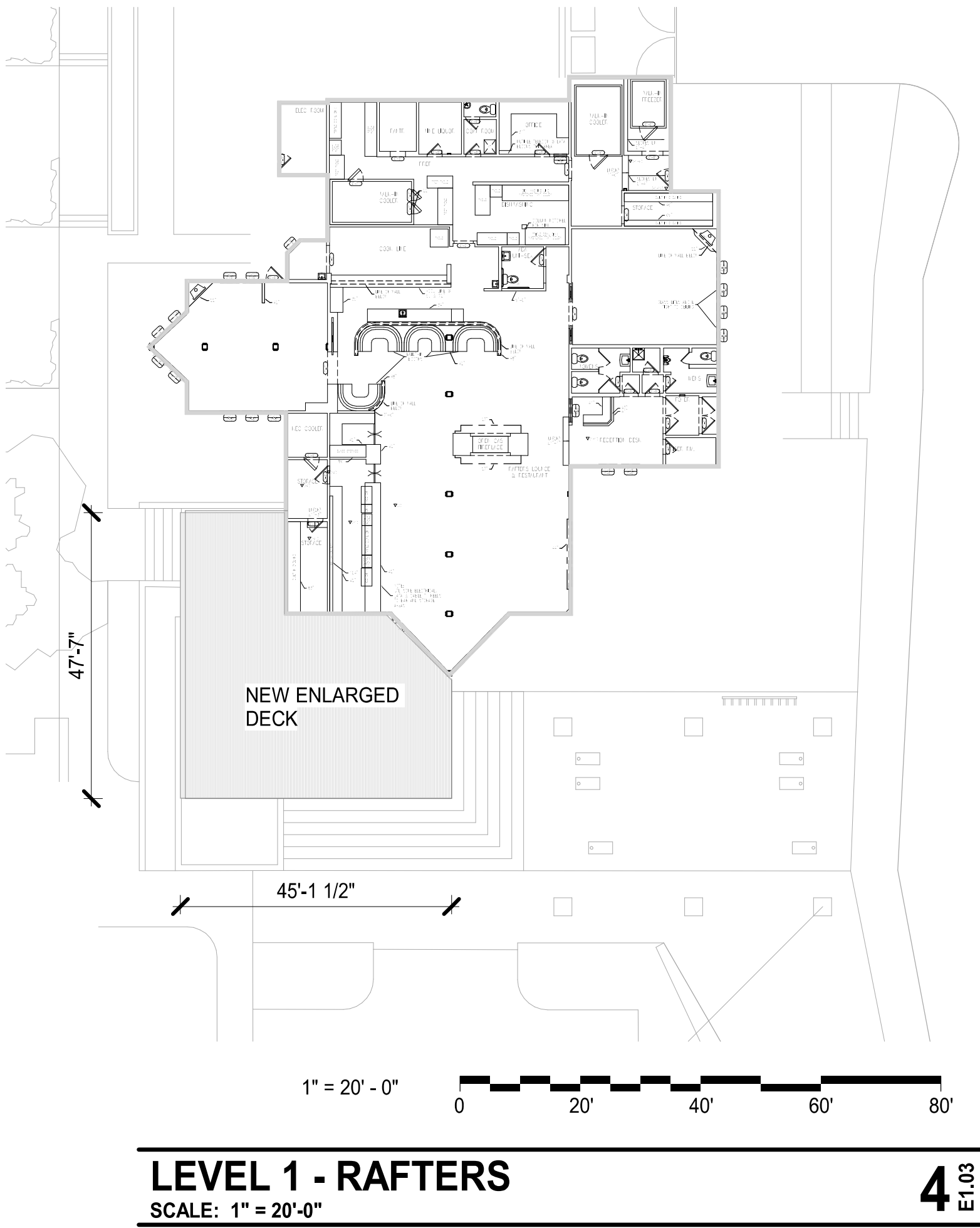
LEVEL 2 - HOTEL
SCALE: 1" = 20'-0"

2
E1.02



KEY - SITE PLAN (HOTEL)
SCALE: 1" = 100'-0"

1
E1.02



SHEET NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
2. EXISTING BUILDING EXTERIORS TO REMAIN, SEE E4.11 FOR PROPOSED FINISHES.
3. REFER TO CIVIL C-SERIES SHEETS AND LANDSCAPE D-SERIES SHEETS FOR PROPOSED SITE WORK.
4. REFER TO F-SERIES SHEETS FOR PROPOSED CABINS AND POOL SCOPE.

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 1, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021

SHEET DATE: 10/28/21
REVISIONS

DRAWN:
CHECKED:
PROJECT No. XX.XXX

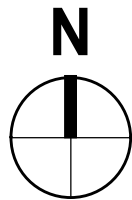
SHEET TITLE:
**OVERALL FLOOR PLANS
AT EXISTING BUILDINGS**

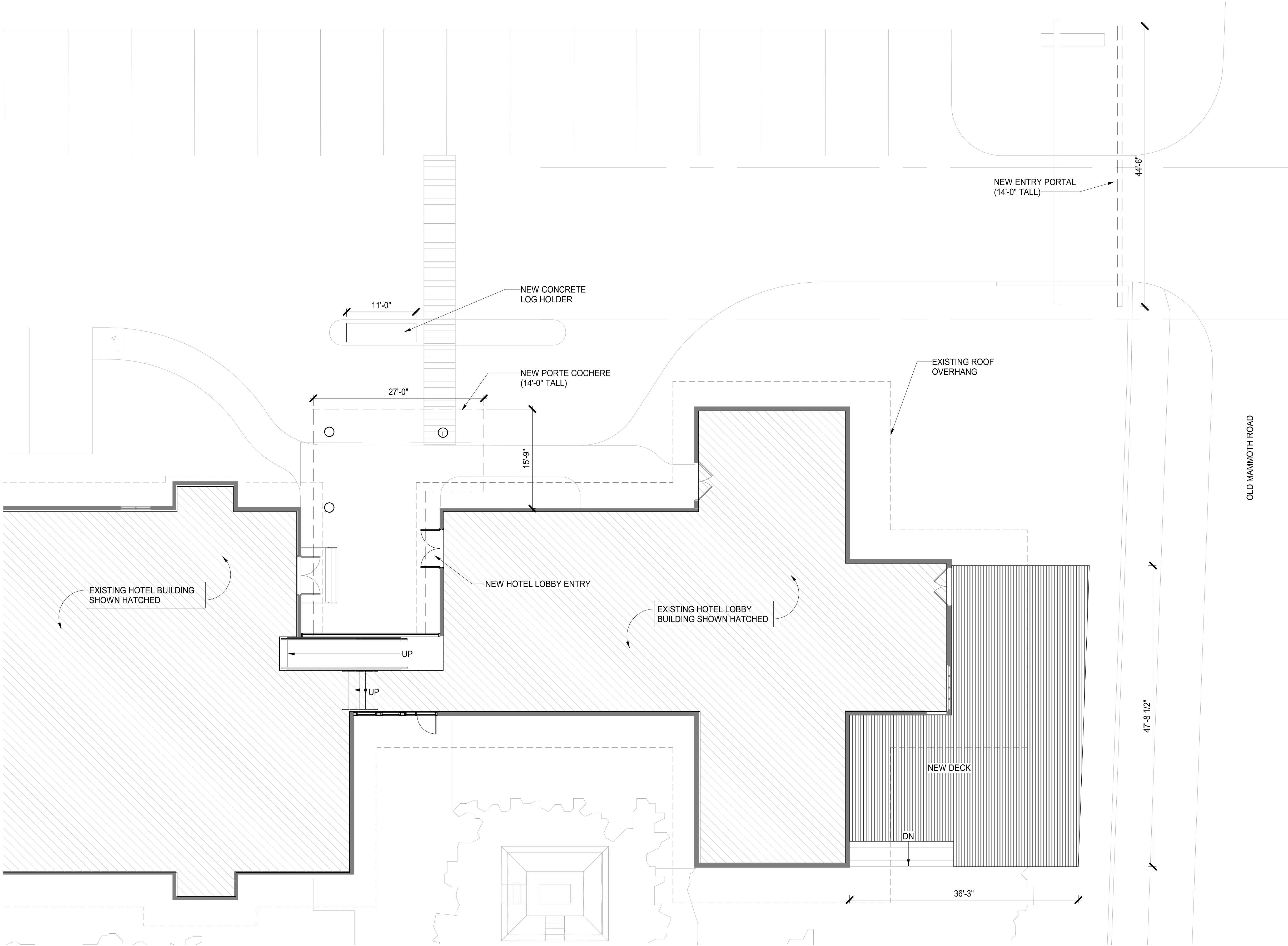
ISSUE:

E1.03

WALL TYPES

- EXISTING WALL
- NON-RATED WALL (NEW)
- 1-HOUR FIRE PROTECTED WALL
- 1-HOUR RATED FIRE PARTITION
- 1-HOUR RATED FIRE BARRIER
- 2-HOUR RATED FIRE BARRIER / FIRE BARRIER
- 2-HOUR FIRE PROTECTED WALL
- 3-HOUR RATED FIRE WALL
- CONCRETE WALL
- CONCRETE MASONRY UNIT WALL
- PARTITION TYPE: SEE 'PARTITION TYPE NAMING CONVENTION' ON A8.01
- MODIFIER: SEE PARTITION COMPONENT MATRIX ON A8.01
- FIRE RATING (HRS)





LEVEL 1 - PORTE COCHERE AND LOBBY 1
SCALE: 1/8" = 1'-0"

SHEET NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
2. EXISTING BUILDING EXTERIORS TO REMAIN, SEE E4.11 FOR PROPOSED FINISHES.
3. REFER TO CIVIL C-SERIES SHEETS AND LANDSCAPE D-SERIES SHEETS FOR PROPOSED SITE WORK.
4. REFER TO F-SERIES SHEETS FOR PROPOSED CABINS AND POOL SCOPE.

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

**DESIGN REVIEW
SUBMITTAL**
November 1, 2021



PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021

SHEET DATE: 1/1/2019
REVISIONS

DRAWN:
CHECKED:
PROJECT No. XX.XXX

SHEET TITLE:
**ENLARGED FLOOR PLAN
- PORTE COCHERE,
LOBBY**

ISSUE:

E1.11



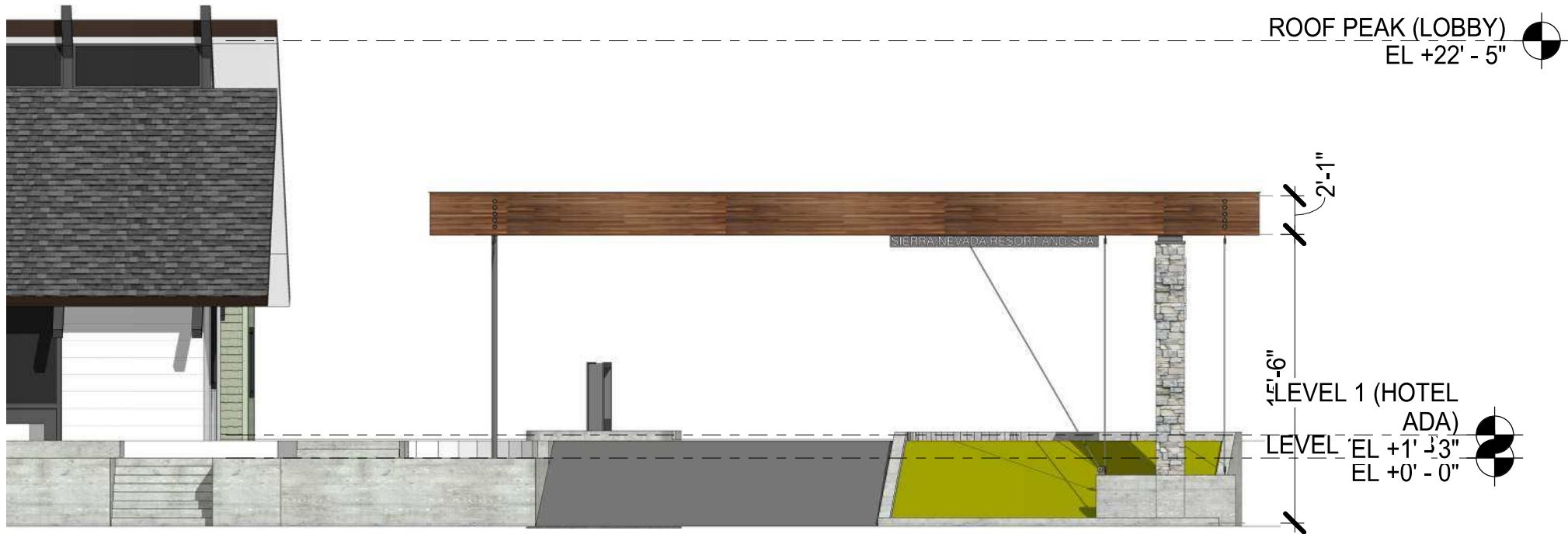
APPROACH FROM NORTH ON OLD MAMMOTH



APPROACH FROM SOUTH ON OLD MAMMOTH



CERTAINTeed
"HARBOR SUNSET"



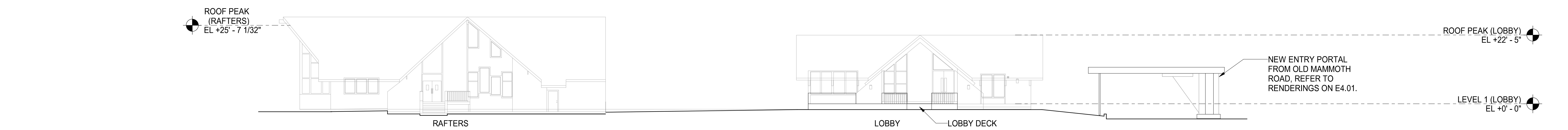
ELEVATION AT ENTRY PORTAL
SCALE: 1/8" = 1'-0"

1
E4.01



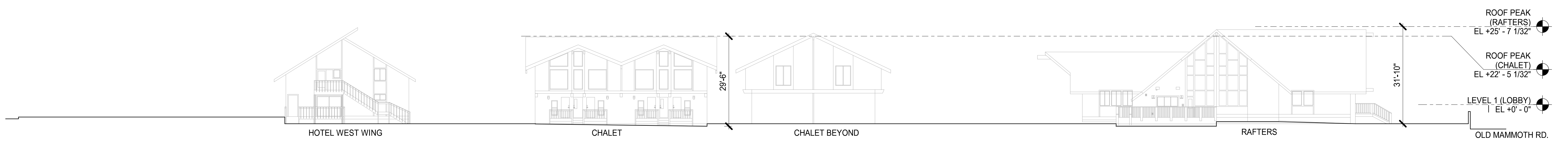
OVERALL - WEST
SCALE: 1/16" = 1'-0"

4
E4.02



OVERALL - EAST
SCALE: 1/16" = 1'-0"

3
E4.02



OVERALL - SOUTH
SCALE: 1/16" = 1'-0"

2
E4.02



OVERALL - NORTH
SCALE: 1/16" = 1'-0"

1
E4.02

BUILDING HEIGHTS

SEE BELOW FOR MAXIMUM HEIGHTS AT EACH BUILDING PER MUNICIPAL CODE 17.36.060.

REFER TO C-SERIES SHEETS FOR SITE GRADING.

ALL BUILDINGS BELOW ARE EXISTING TO REMAIN, NO HEIGHTS ARE PROPOSED TO BE ALTERED.

LOBBY BUILDING: 25'-3 1/2"

HOTEL NORTH WING: 34'-0"

HOTEL WEST WING: 35'-10"

CHALETS: 29'-3"

RAFTERS RESTAURANT: 31'-10"

SHEET NOTES

- ALL EXISTING BUILDINGS TO REMAIN, SHOWN GREY. ALL PROPOSED ADDITIONS NOTED.
- NO NEW ROOF TOP STRUCTURES PROPOSED.
- NO ALTERATIONS TO EXISTING BUILDING HEIGHTS PROPOSED.
- SEE E4.11 FOR PROPOSED EXTERIOR PAINT COLORS ON EXISTING BUILDINGS.
- REFER TO CIVIL C-SERIES SHEETS AND LANDSCAPE D-SERIES SHEETS FOR PROPOSED SITE WORK.
- REFER TO F-SERIES SHEETS FOR PROPOSED CABINS AND POOL SCOPE.
- BUILDING HEIGHTS ARE MEASURED PER MUNICIPAL CODE SECTION 17.36.060. REFER TO C-SERIES SHEETS FOR SITE GRADING.

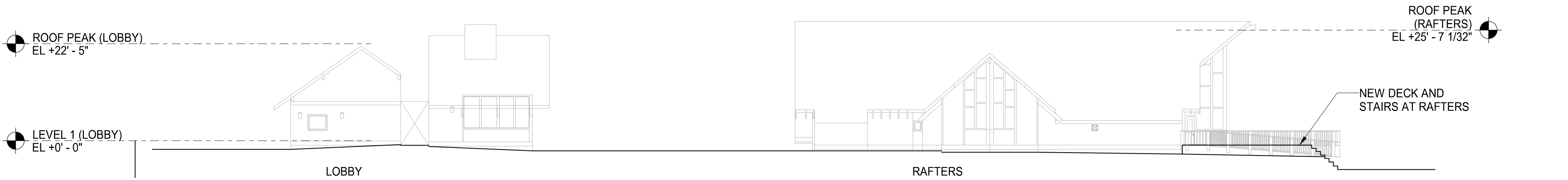


OVERALL - INTERIOR WEST

SCALE: 1/16" = 1'-0"

4

E4.03

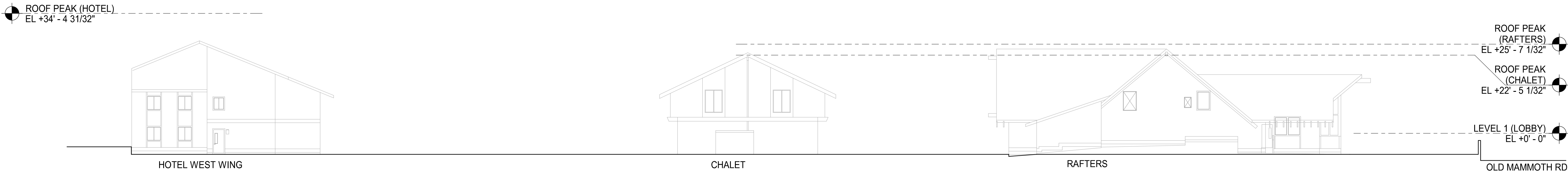


OVERALL - INTERIOR EAST

SCALE: 1/16" = 1'-0"

3

E4.03



OVERALL - INTERIOR SOUTH

SCALE: 1/16" = 1'-0"

2

E4.03



OVERALL - INTERIOR NORTH

SCALE: 1/16" = 1'-0"

1

E4.03

BUILDING HEIGHTS

SEE BELOW FOR MAXIMUM HEIGHTS AT EACH BUILDING PER MUNICIPAL CODE 17.36.060.

REFER TO C-SERIES SHEETS FOR SITE GRADING.

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- SEE E4.11 FOR PROPOSED EXTERIOR PAINT COLORS ON EXISTING BUILDINGS.
- REFER TO CIVIL C-SERIES SHEETS AND LANDSCAPE D-SERIES SHEETS FOR PROPOSED SITE WORK.
- REFER TO F-SERIES SHEETS FOR PROPOSED CABINS AND POOL SCOPE.
- BUILDING HEIGHTS ARE MEASURED PER MUNICIPAL CODE SECTION 17.36.060. REFER TO C-SERIES SHEETS FOR SITE GRADING.



1-Black Fox SW 7020
or similar

2-Woven Wicker SW 9104
or similar

EXISTING SOFFIT/ UNDERSIDE OF
ROOF TO REMAIN AND BE REPAINTED
EXISTING SIDING TO REMAIN AND
BE REPAINTED

EXISTING ROOF TO REMAIN (TYP.
AT ALL EXISTING BUILDINGS).
EXISTING MASONRY TO REMAIN,
TYP. CLEAN AS REQUIRED.

EXISTING DOORS TO REMAIN

PROPOSED PAINT AT LOBBY

(VIEW OF LOBBY FROM OLD MAMMOTH ROAD)



1-Black Fox SW 7020
or similar

EXISTING SIDING TO
REMAIN AND BE REPAINTED

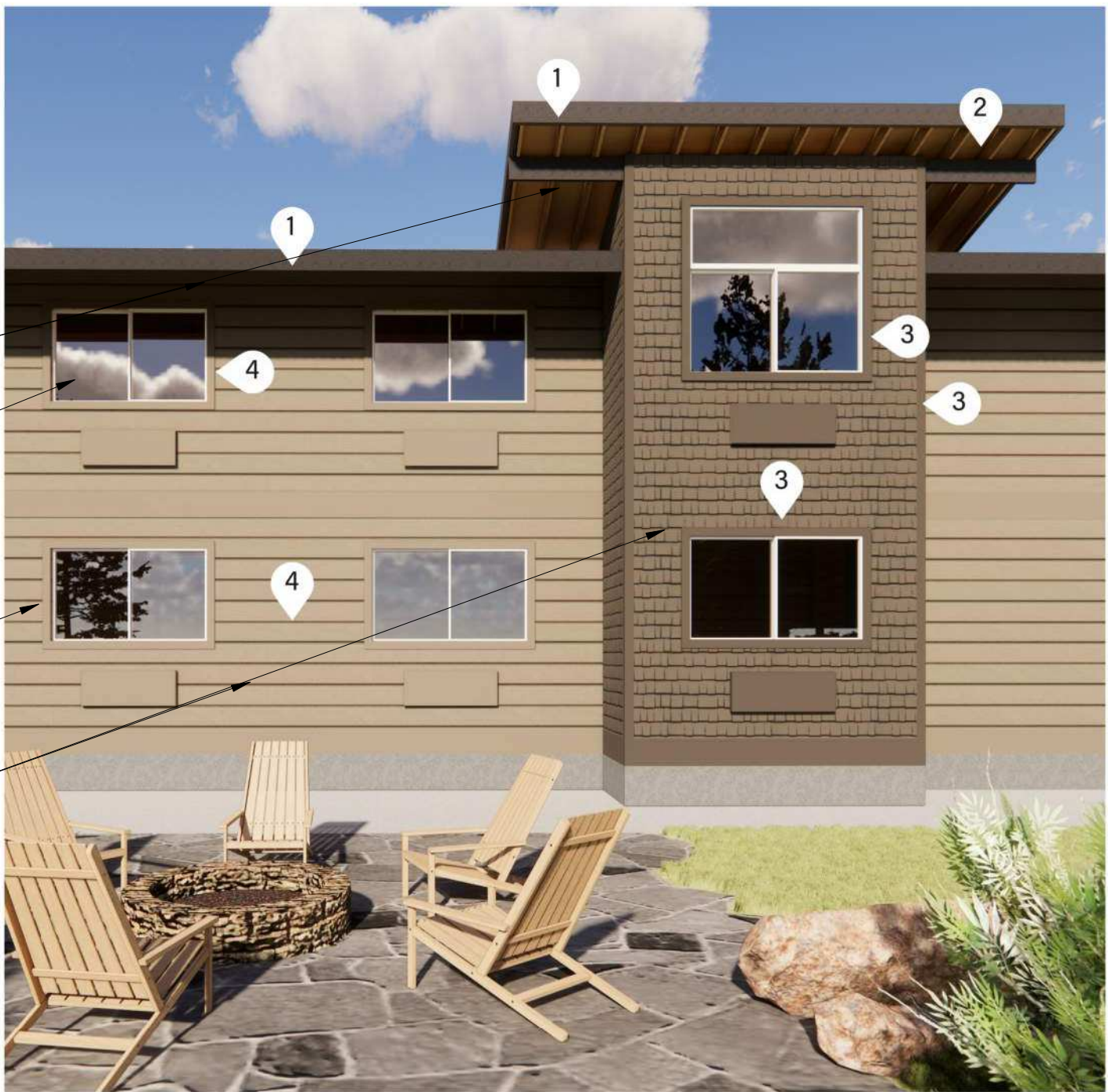
EXISTING RAILINGS TO REMAIN.
REPAIR AS REQUIRED. SAND AND
CLEAR COAT AT EXISTING WOOD.

EXISTING MASONRY TO
REMAIN, TYP. CLEAN AS
REQUIRED

PROPOSED PAINT @ RAFTERS

(VIEW OF RAFTERS FROM OLD MAMMOTH ROAD)

REFER TO REVISED COLORS ON SHEET
B.08 & B.09



EXISTING ROOF TO REMAIN,
UNDERSIDE TO BE
REPAINTED, TYP.
EXISTING WINDOWS TO
REMAIN

EXISTING WINDOW TRIM TO
BE REPAINTED, TYP.

EXISTING SIDING TO
REMAIN AND BE REPAINTED

1-Black Fox SW 7020
or similar

2-Woven Wicker SW 9104
or similar

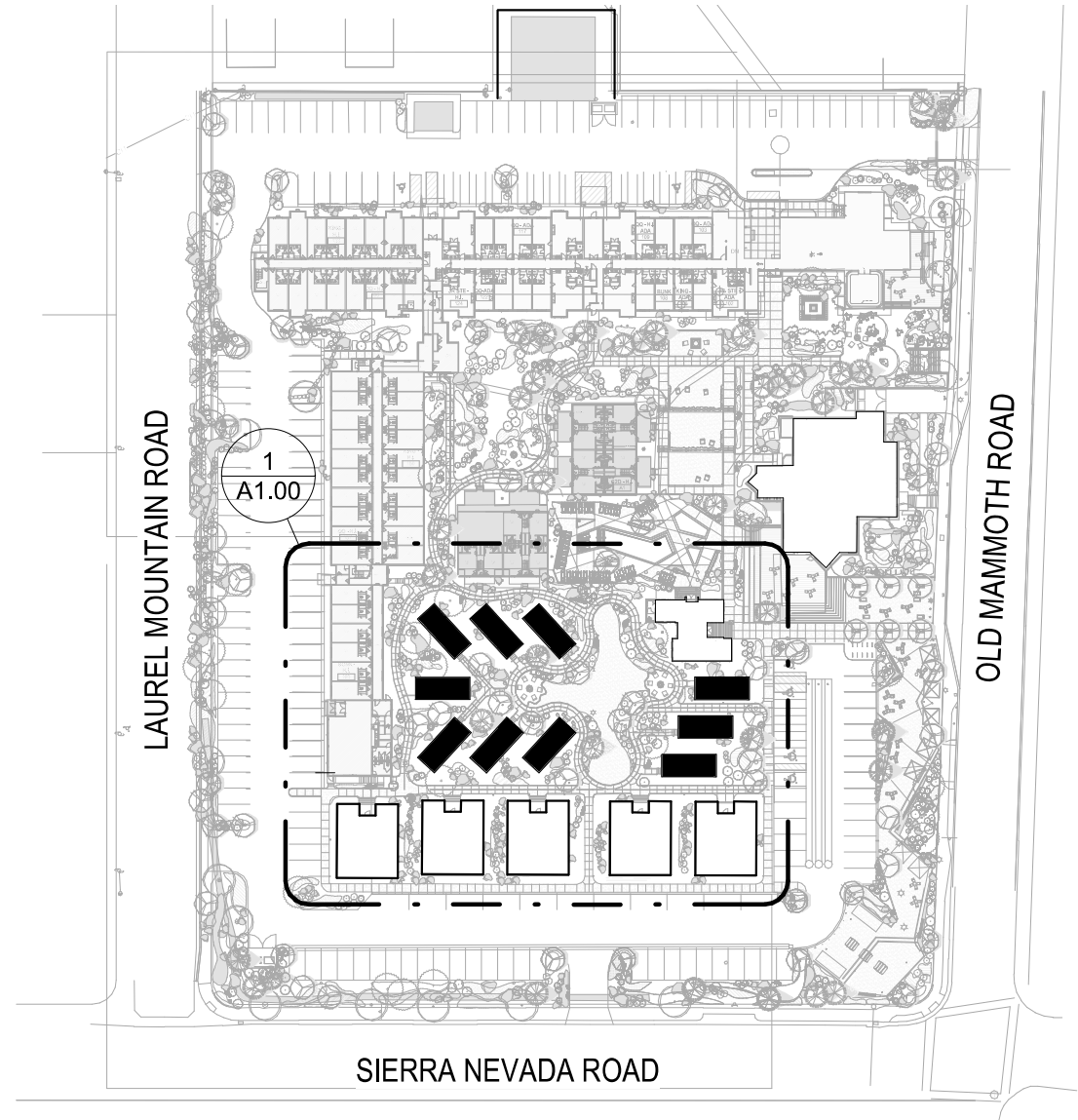
3-Statue Bronze SW 7034
or similar

4-Artisan Tan SW 7540
or similar

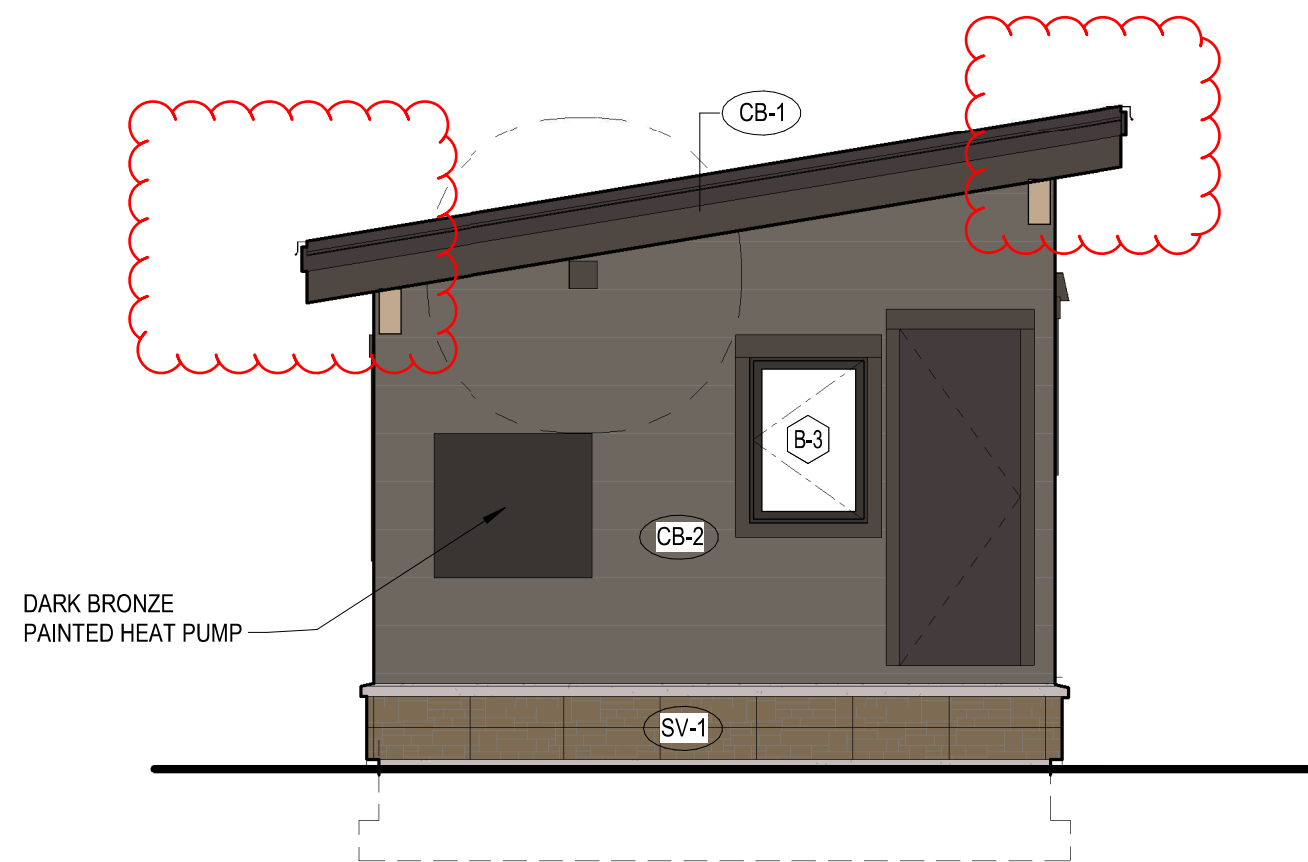
PROPOSED PAINT @ (E) HOTEL WINGS, TYP.



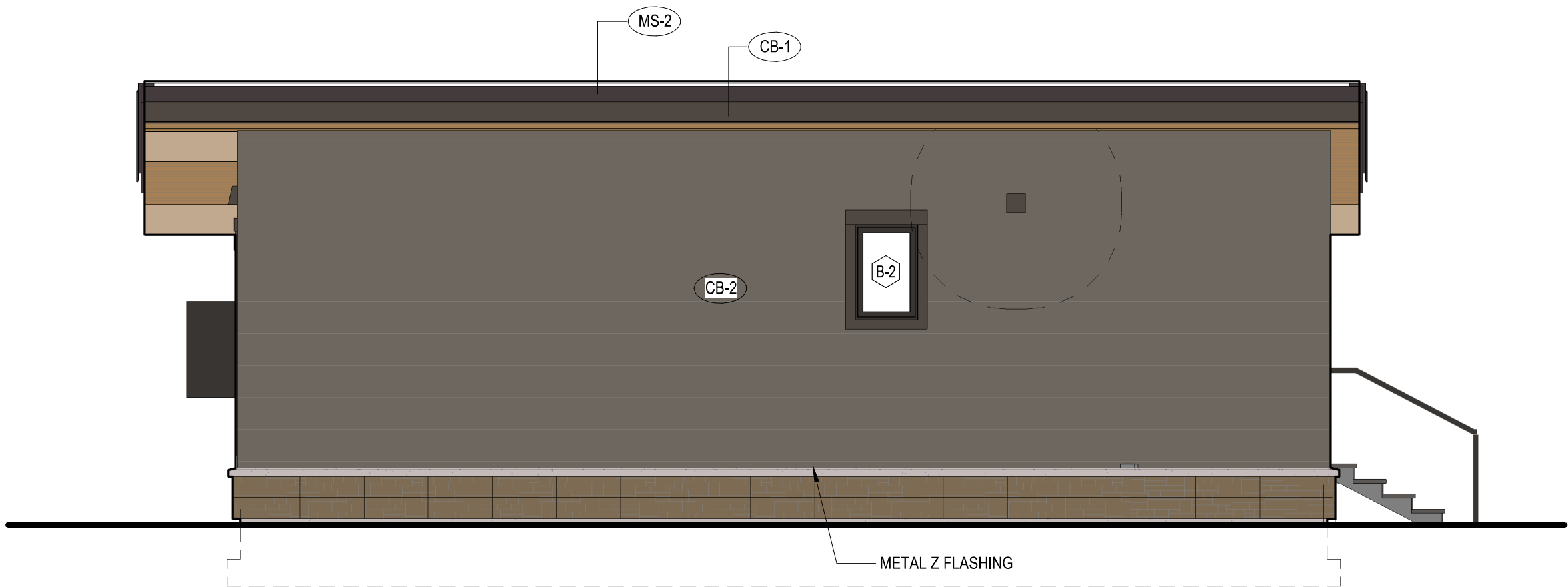
TYPICAL CABINS AT ENTRY DECK



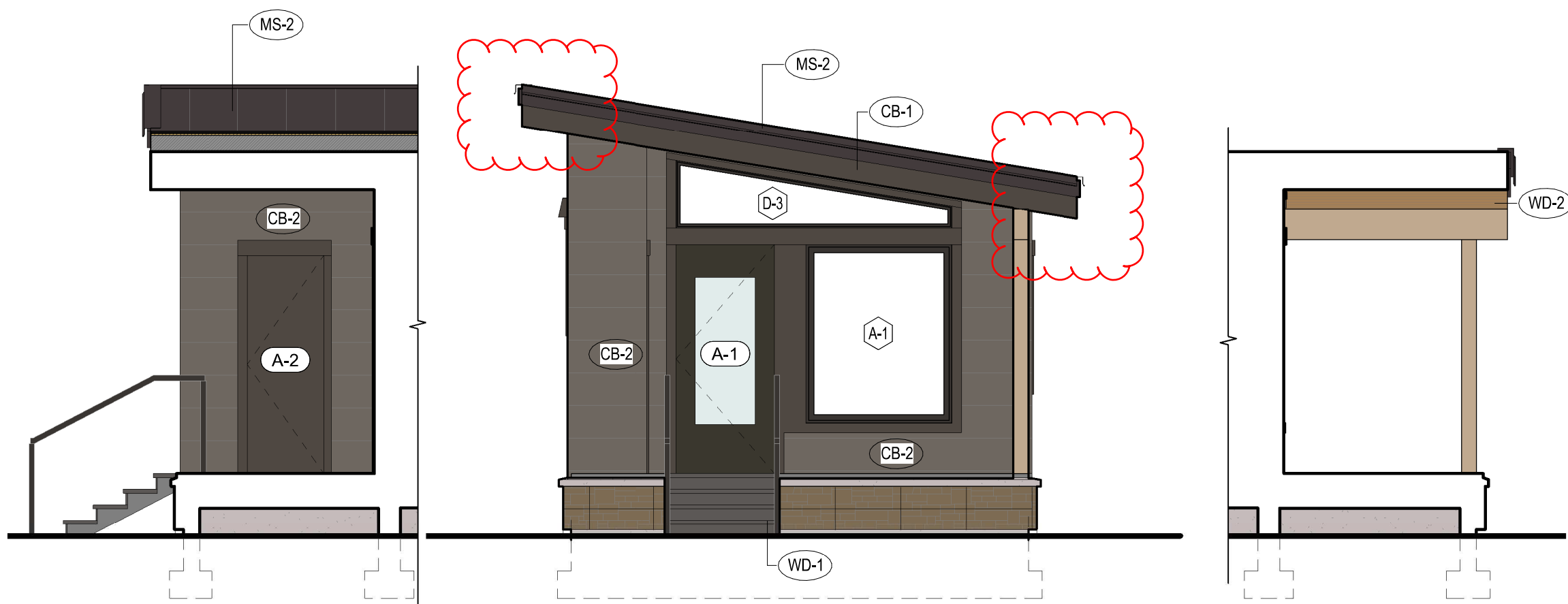
SITE PLAN- CABIN LOCATION



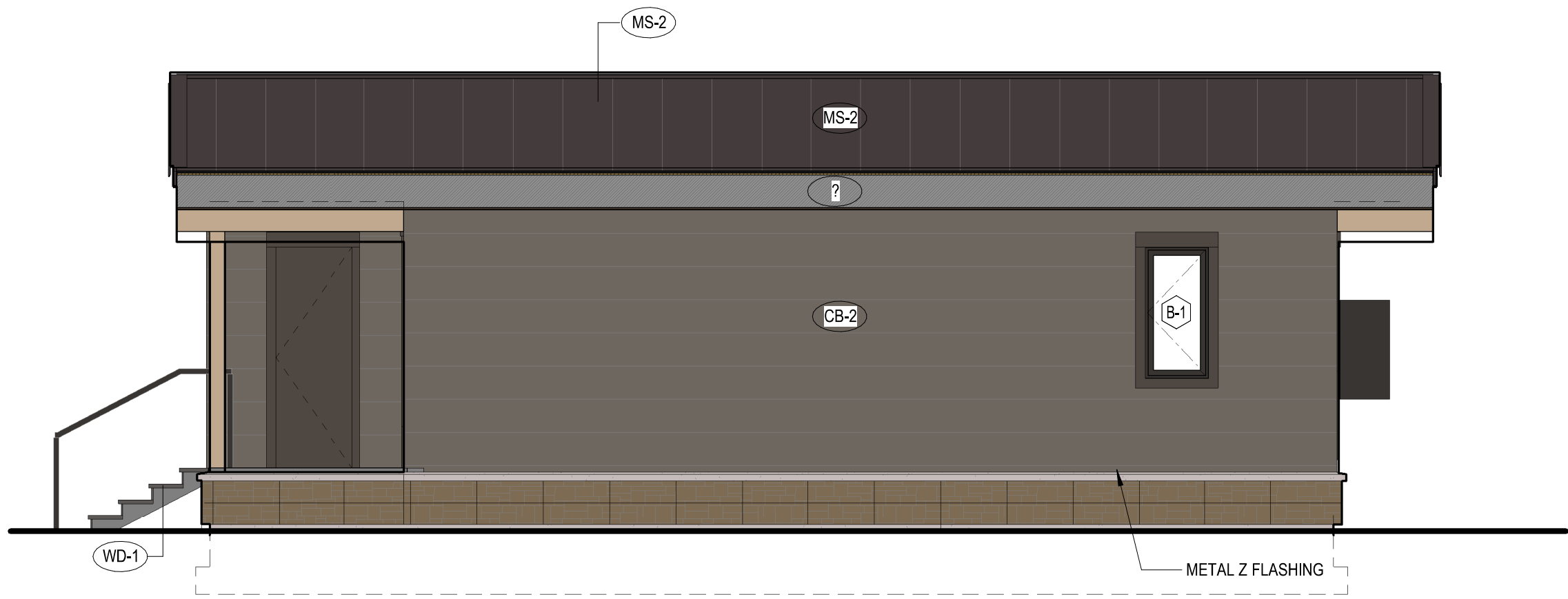
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



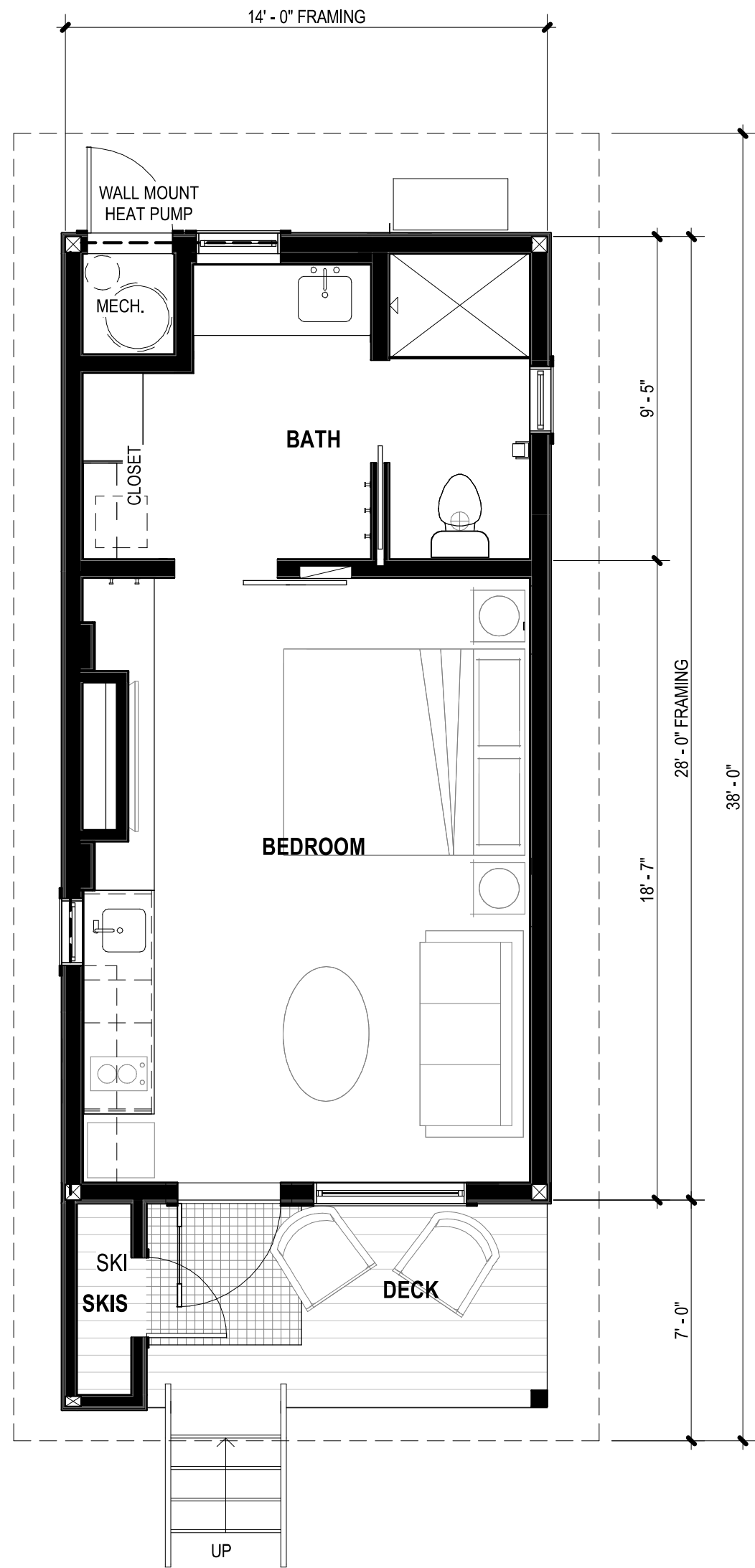
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



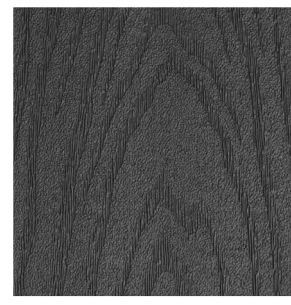
REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

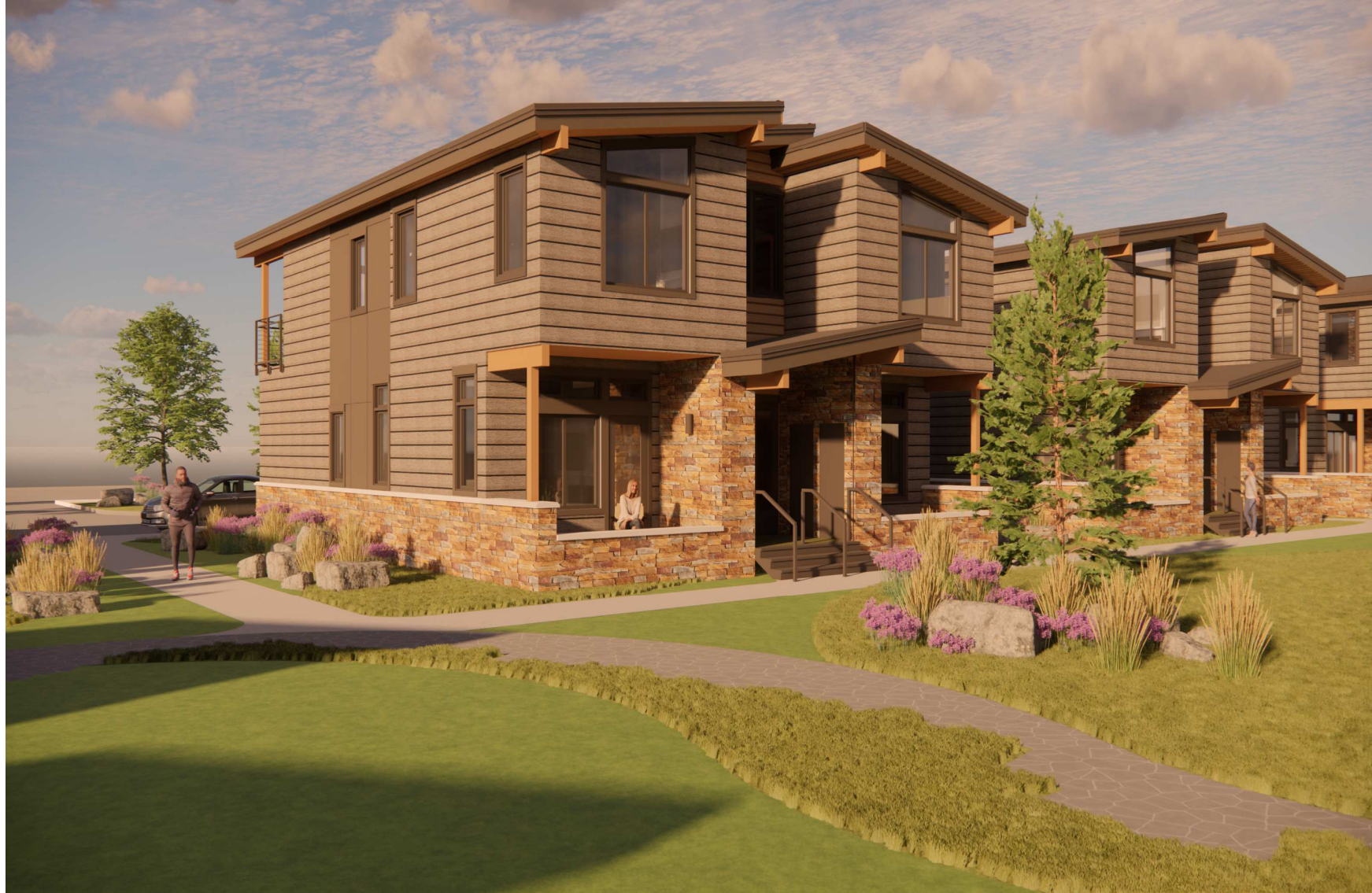


FLOOR PLAN - CABIN
SCALE: 1/4" = 1'-0"

							
(CONC) CONCRETE - ARCHITECTURAL CAST-IN-PLACE	(CB-1) CEMENT BOARD PANEL SHERWIN WILLIAMS SW 7020 BLACK FOX OR SIM	(SV-1) STONE VENEER CERTAINTED STONEFACADE - "HARBOR SUNSET"	(WD-2) CEDAR LAP SIDING CEDAR NICKEL GAP T&G, STAIN TBD	(WN-1) WINDOW MARVIN ESSENTIAL IN "BRONZE"	(WD-1) COMPOSITE DECKING TREX DECKING IN "WINCHESTER GREY"	(MS-1) METAL - CAP / FLASHING KYNAR, DARK BRONZE	(MS-2) METAL ROOFING BOARD & BATTEN KYNAR, DARK BRONZE

FLOOR AREA (NSF) - CABIN		
NAME	LEVEL	AREA
CABIN	LEVEL 1	351.00 SF
CABIN DECK	LEVEL 1	72.31 SF

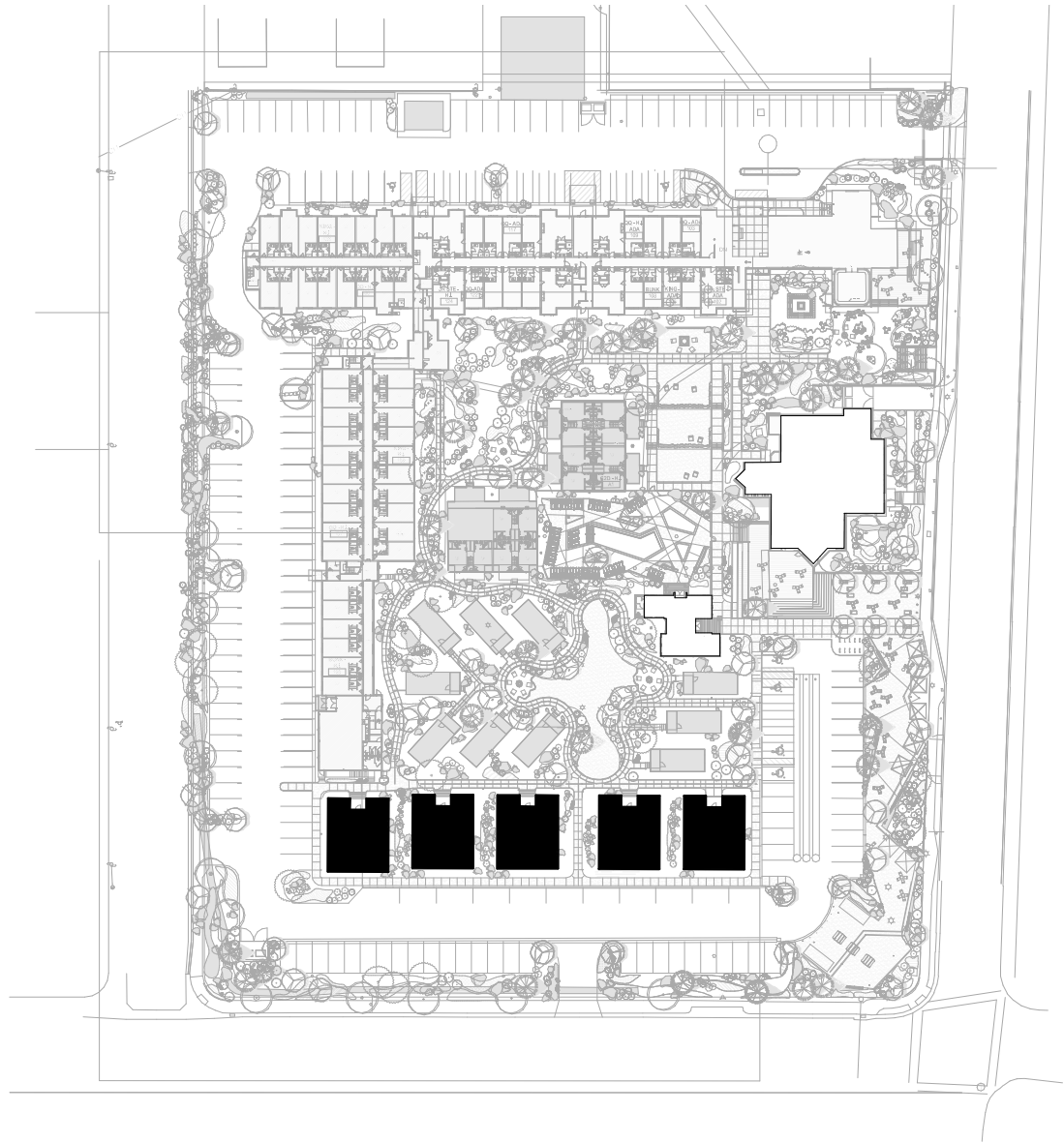
FLOOR AREA (GSF) - CABIN		
NAME	LEVEL	AREA
CABIN	LEVEL 1	382.00 SF



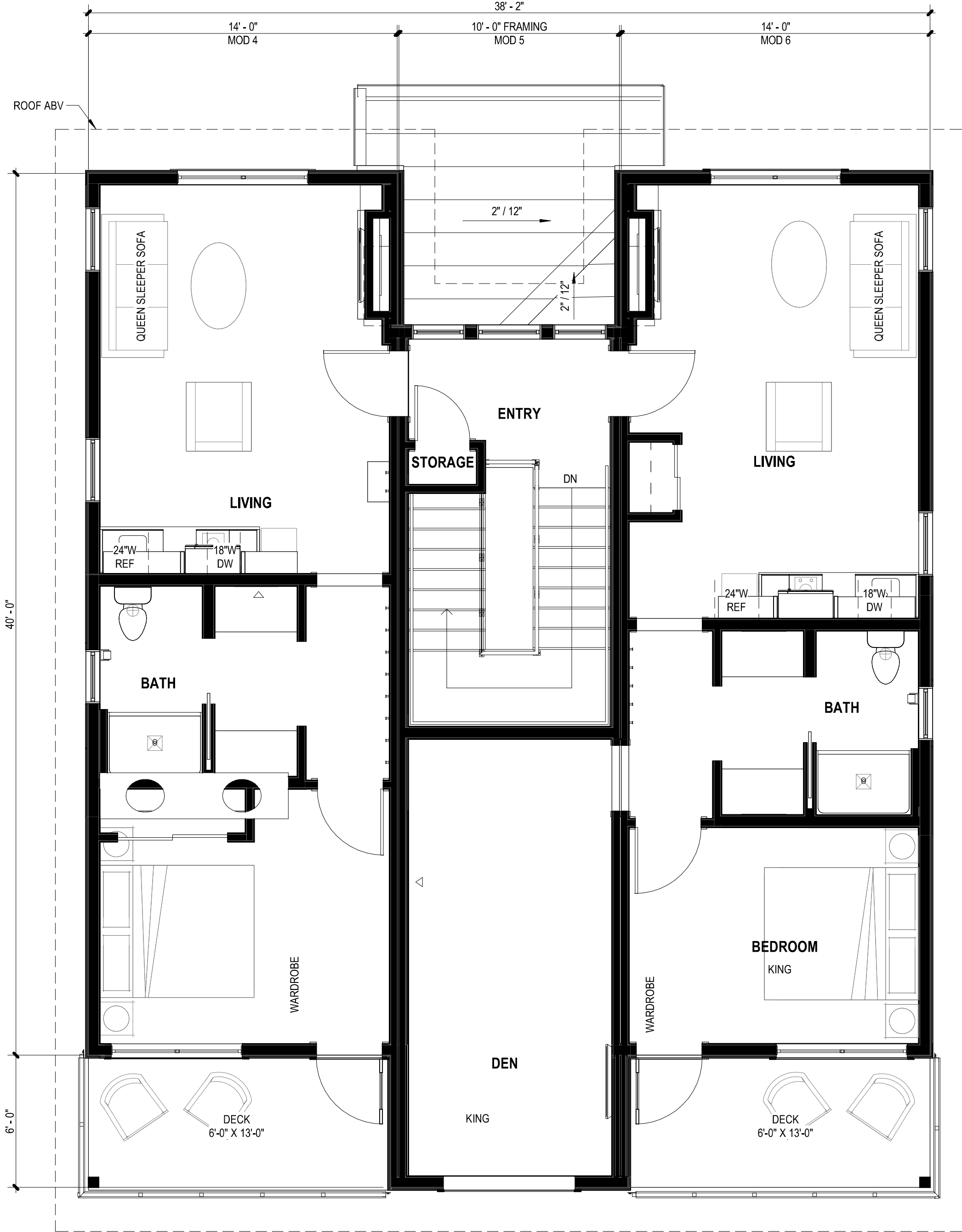
NORTH PERSPECTIVE - VILLA ENTRY



SOUTH PERSPECTIVE - VILLA FACADE FACING SIERRA NEVADA ROAD



SITE PLAN - VILLA LOCATION.

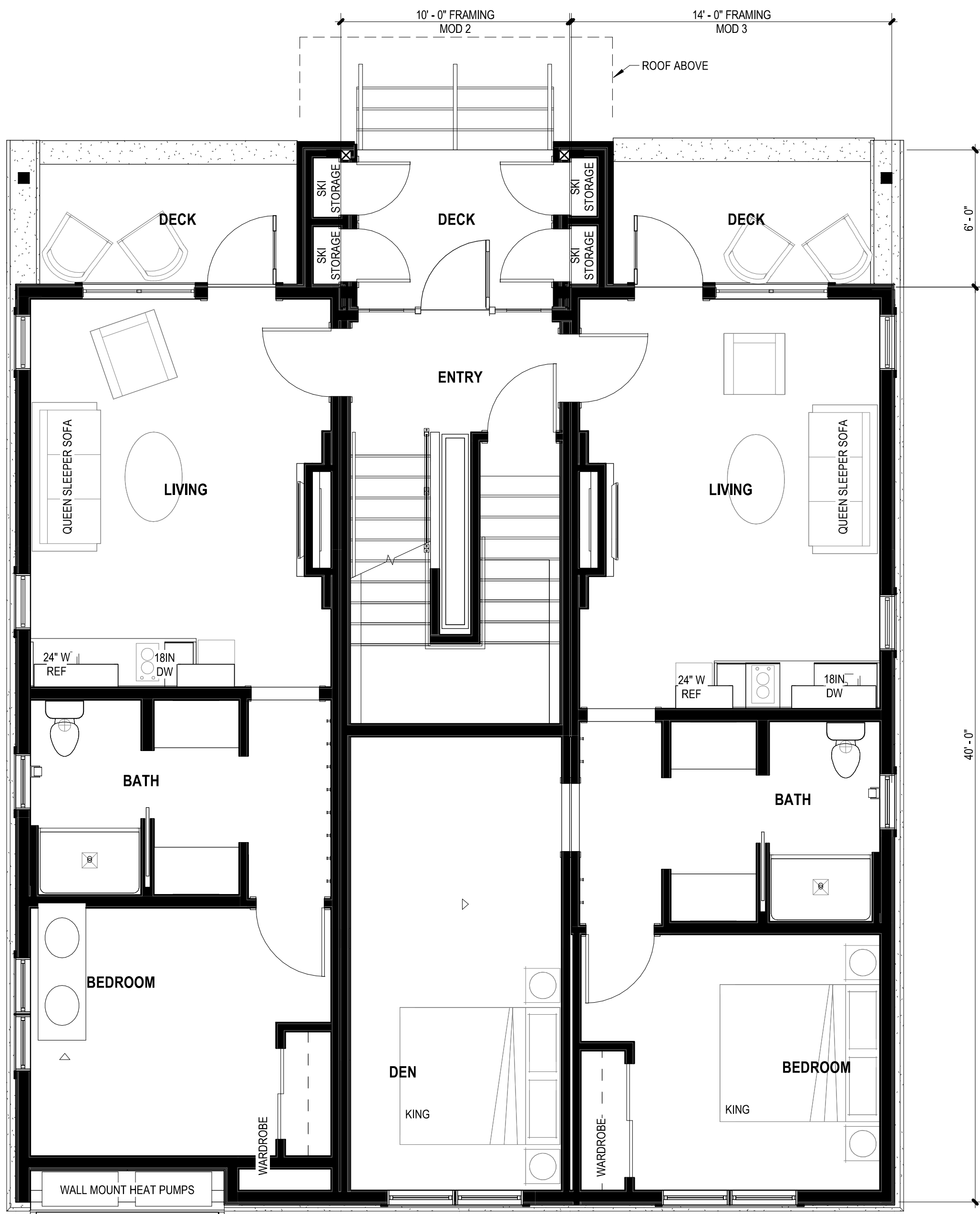


FLOOR PLAN - VILLA - LEVEL 2
SCALE: 1/4" = 1'-0"

FLOOR AREA (NSF) - VILLA		
NAME	LEVEL	AREA
VILLA	LEVEL 1	1423.00 SF
VILLA	LEVEL 2	1427.62 SF
		2850.62 SF

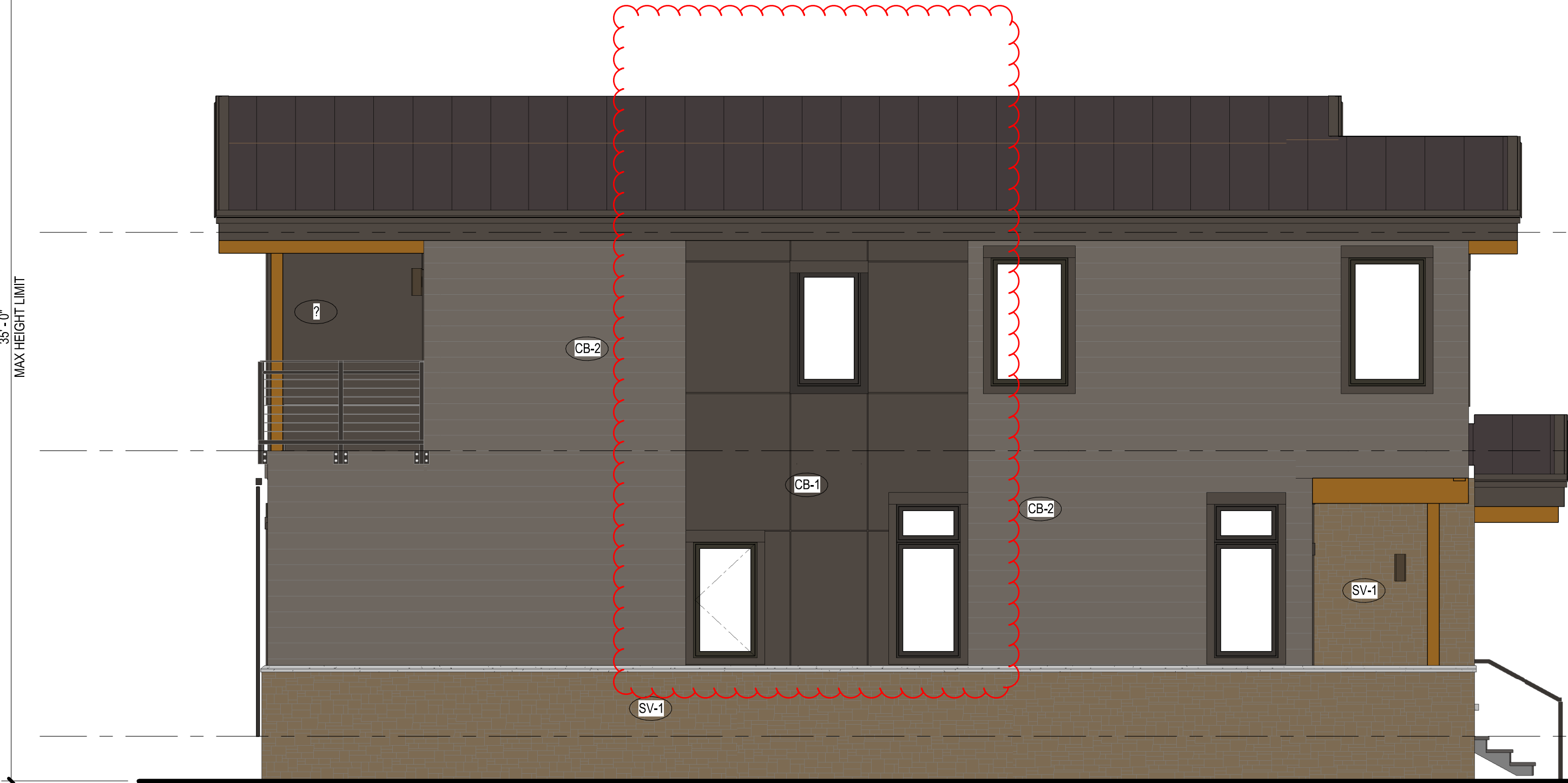
VILLA DECK	LEVEL 2	82.28 SF
VILLA DECK	LEVEL 2	82.25 SF
VILLA DECK	LEVEL 1	74.50 SF
VILLA DECK	LEVEL 1	74.50 SF
		313.53 SF

Area Schedule (GSF) - VILLA		
NAME	LEVEL	AREA
VILLA	LEVEL 1	1543.08 SF
VILLA	LEVEL 2	1519.78 SF
		3062.87 SF



FLOOR PLAN - VILLA - LEVEL 1

HEIGHT LIMIT
33' - 3 3/8"



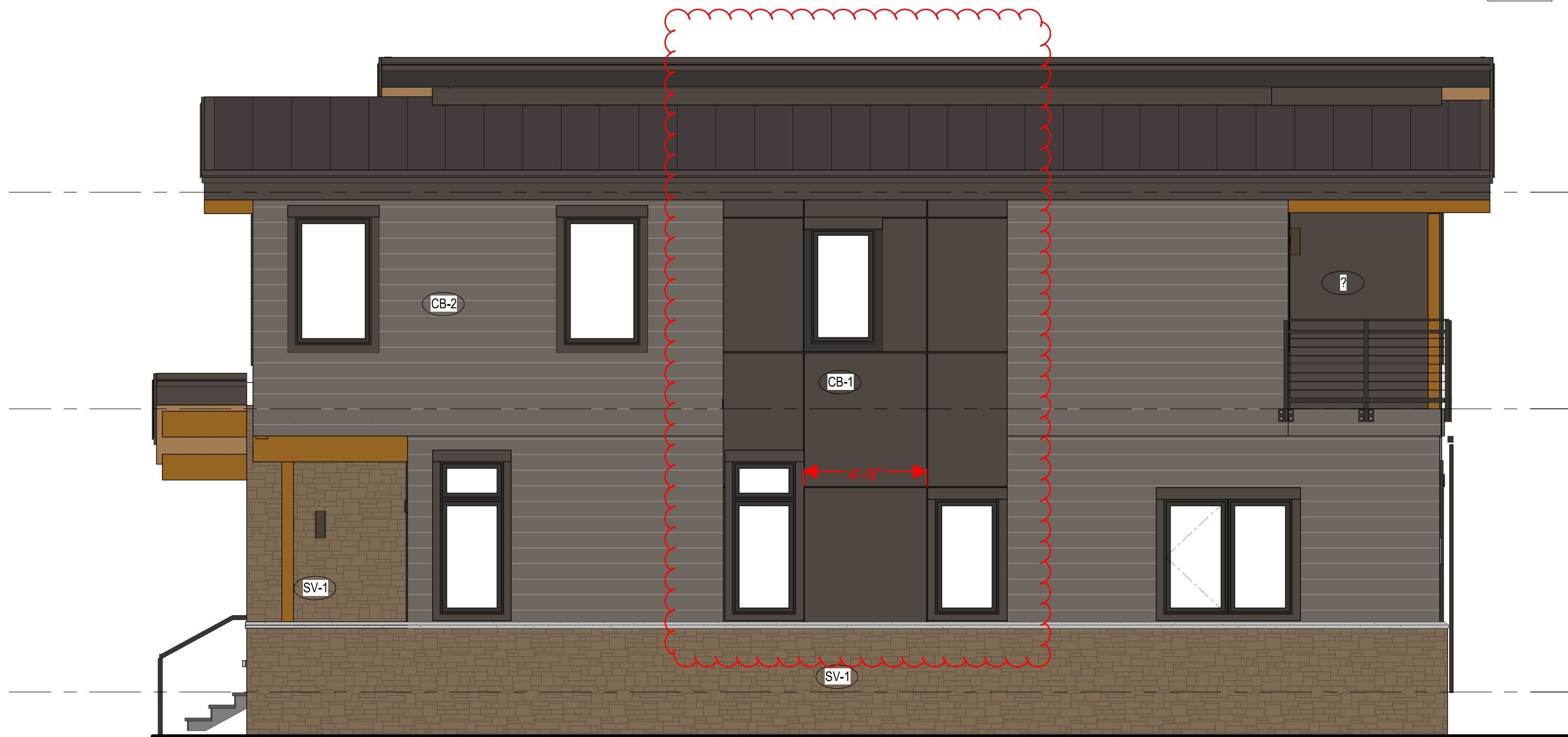
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

4
F.03



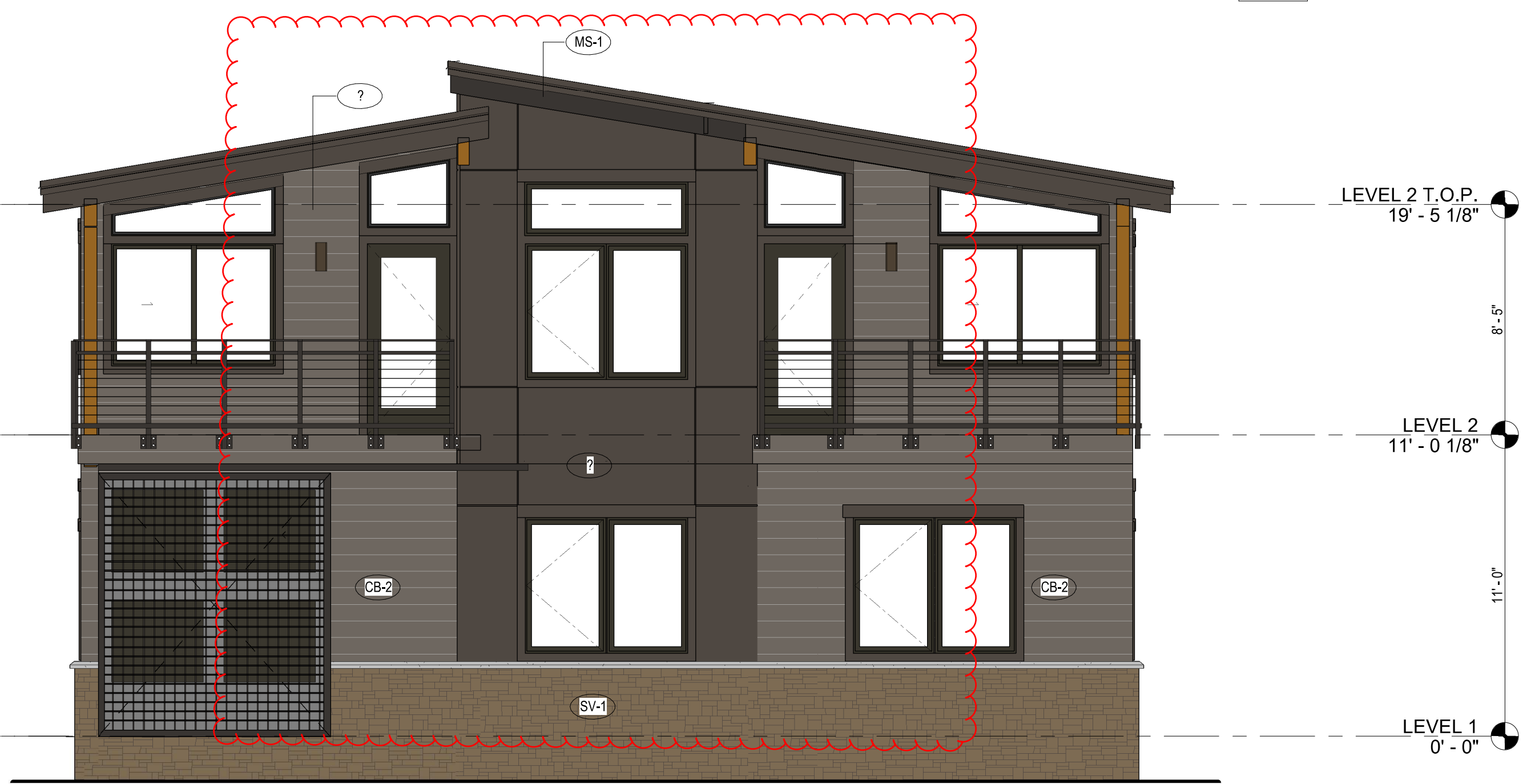
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

3
F.03



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

2
F.03

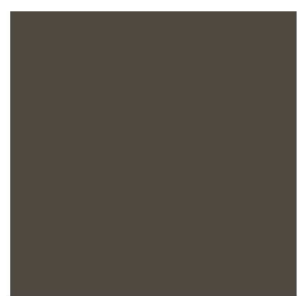


REAR ELEVATION
SCALE: 1/4" = 1'-0"

1
F.03



(CONC) CONCRETE -
ARCHITECTURAL
CAST-IN-PLACE



(CB-1) CEMENT BOARD
PANEL
SHERWIN WILLIAMS
SW 7020 BLACK FOX
OR SIM



(CB-2) CEMENT BOARD
LAP SIDING
WOODTONE -
RUSTIC LAP IN
"RIVER ROCK"



(CB-3) CEMENT BOARD
PANEL
WOODTONE - RUSTIC
BOARD AND BATTEN
PANEL IN
"SUMMER WHEAT"



(CB-4) CEMENT BOARD
LAP SIDING
WOODTONE - RUSTIC
LAP IN "SUMMER
WHEAT"



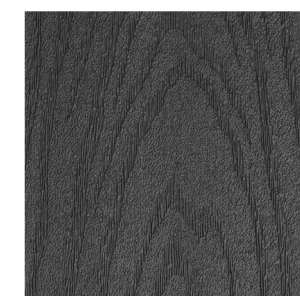
(WD-2) CEDAR LAP SIDING
CEDAR NICKEL GAP
T&G, STAIN TBD



(SV-1) STONE VENEER
CERTAINTED
STONEFACADE -
"HARBOR
SUNSET"



(WN-1) WINDOW
MARVIN ESSENTIAL IN
"BRONZE"



(WD-1) COMPOSITE DECKING
TREX DECKING IN
"WINCHESTER GREY"



(MS-1) METAL - CAP /
FLASHING
KYNAR, DARK BRONZE



(WN-1) WINDOW TRIM
SHERWIN WILLIAMS
SW 7020 BLACK FOX
OR SIM

SIERRA NEVADA RESORT
164 OLD MAMMOTH RD,
MAMMOTH LAKES, CA
93546

DESIGN REVIEW
SUBMITTAL
November 17, 2021

WATERTON

t h a HD LA

grouparchitect

AXISGF/ ARCHITECTURE + DESIGN

EDG FELLOW

method homes

SPRINGBOARD HOSPITALITY

PROJECT ISSUES:
DESIGN REVIEW SUBMITTAL 11/17/2021
DESIGN REVIEW RESUBMITTAL 01/28/2022

SHEET DATE: 01/06/22
REVISIONS

DRAWN: JMA
CHECKED: BJP
PROJECT No. 2116

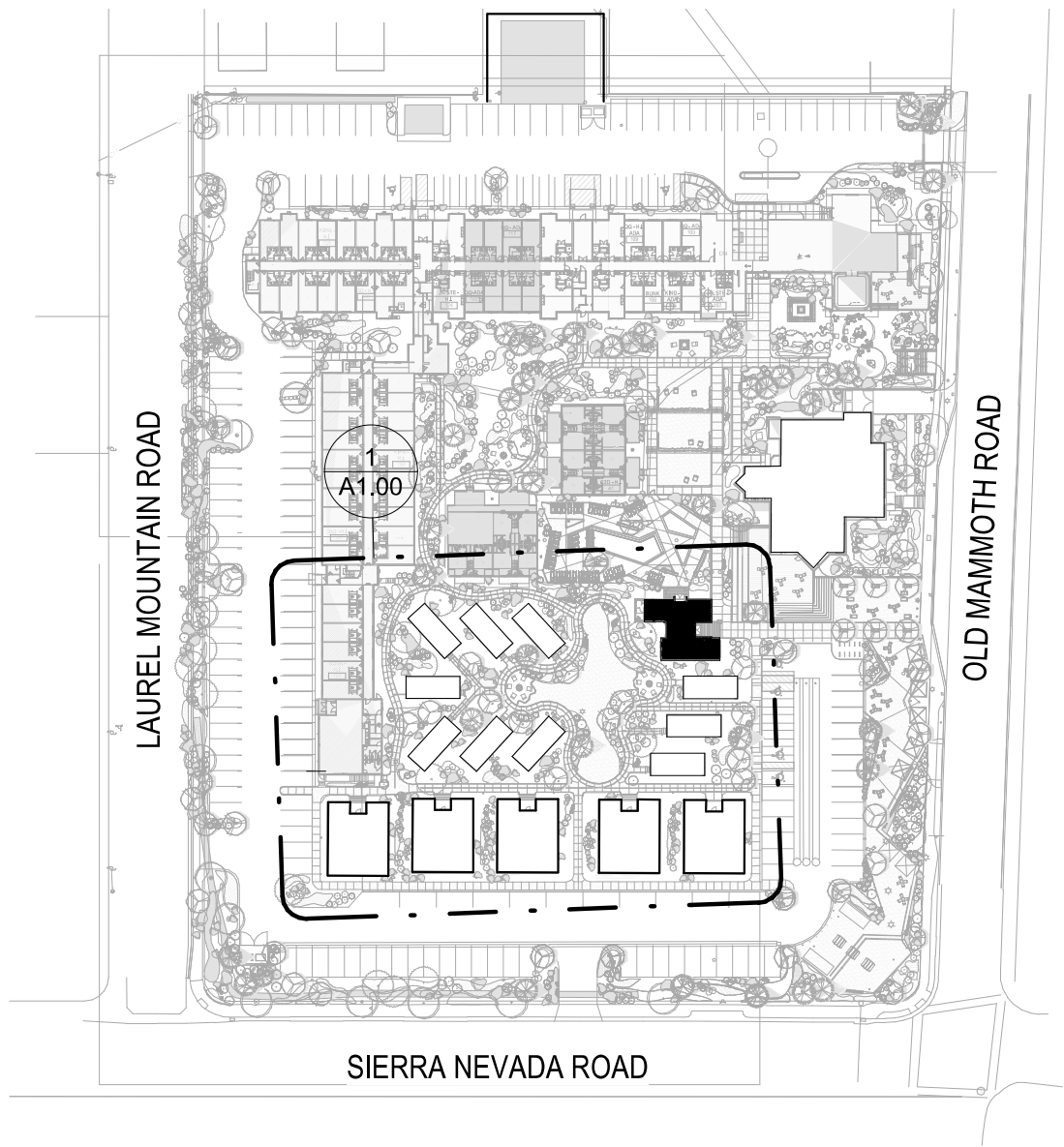
SHEET TITLE:
VILLA ELEVATIONS

ISSUE: PERMIT SET

F.03



PERSPECTIVE 1 (POOL BUILDING)-DR



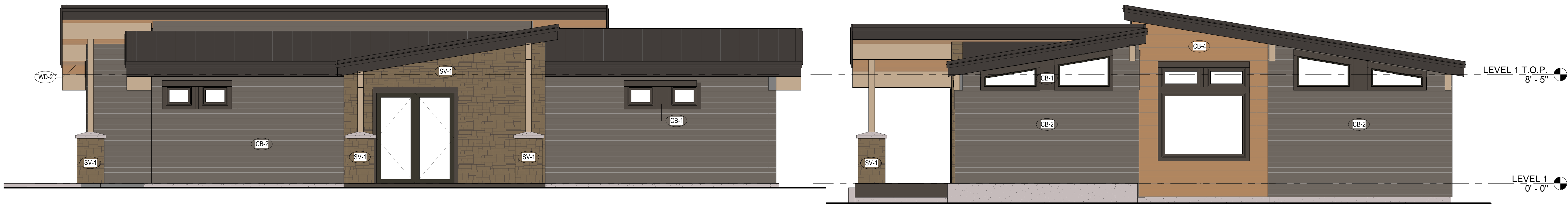
SITE PLAN- CABANA LOCATION



CABANA -FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR AREA (NSF) - CABANA		
NAME	LEVEL	AREA
CABANA	LEVEL 1	1091.84 SF

Area Schedule (GSF) - CABANA		
NAME	LEVEL	AREA
CABANA	LEVEL 1	1224.88 SF



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

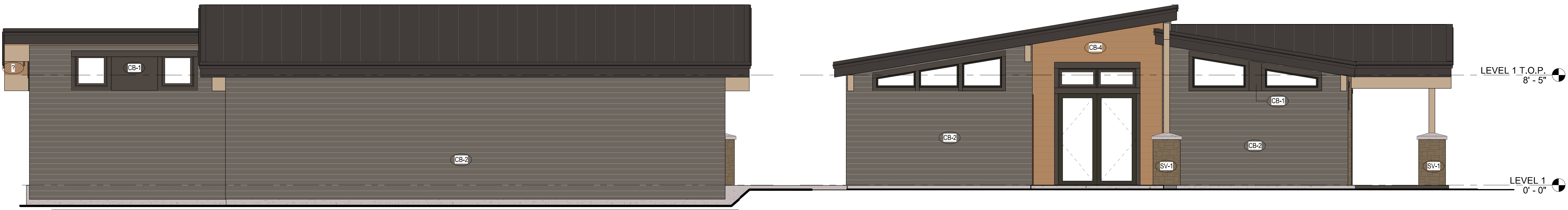
4

F.05

WEST ELEVATION
SCALE: 1/4" = 1'-0"

3

F.05



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

2

F.05

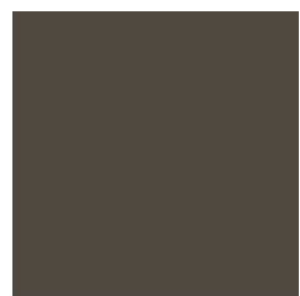
EAST ELEVATION
SCALE: 1/4" = 1'-0"

1

F.05



(CONC) CONCRETE -
ARCHITECTURAL
CAST-IN-PLACE



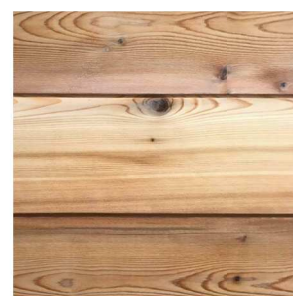
(CB-1) CEMENT BOARD
PANEL
WOODTONE -
COLORSELECT PANEL
IN "ESPRESSO"



(CB-2) CEMENT BOARD
LAP SIDING
WOODTONE - RUSTIC
LAP IN "RIVER ROCK"



(CB-4) CEMENT BOARD
LAP SIDING
WOODTONE - RUSTIC
LAP IN "SUMMER
WHEAT"



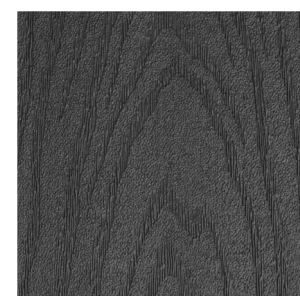
(WD-2) CEDAR LAP SIDING
CEDAR NICKEL GAP
T&G, STAIN TBD



(SV-1) STONE VENEER
CERTAINTeed
STONEFACADE -
"HARBOR
SUNSET"



(WN-1) WINDOW
MARVIN ESSENTIAL
IN "BRONZE"



(WD-1) COMPOSITE DECKING
TREX DECKING IN
"WINCHESTER
GREY"



(MS-1) METAL - CAP /
FLASHING
KYNAR, DARK BRONZE



(WN-1) WINDOW TRIM
SHERWIN WILLIAMS
SW 7020 BLACK FOX
OR SIM



EXTERIOR CEILING
LIGHTS



EXTERIOR WALL
SCONCES

LIGHTING CONCEPT

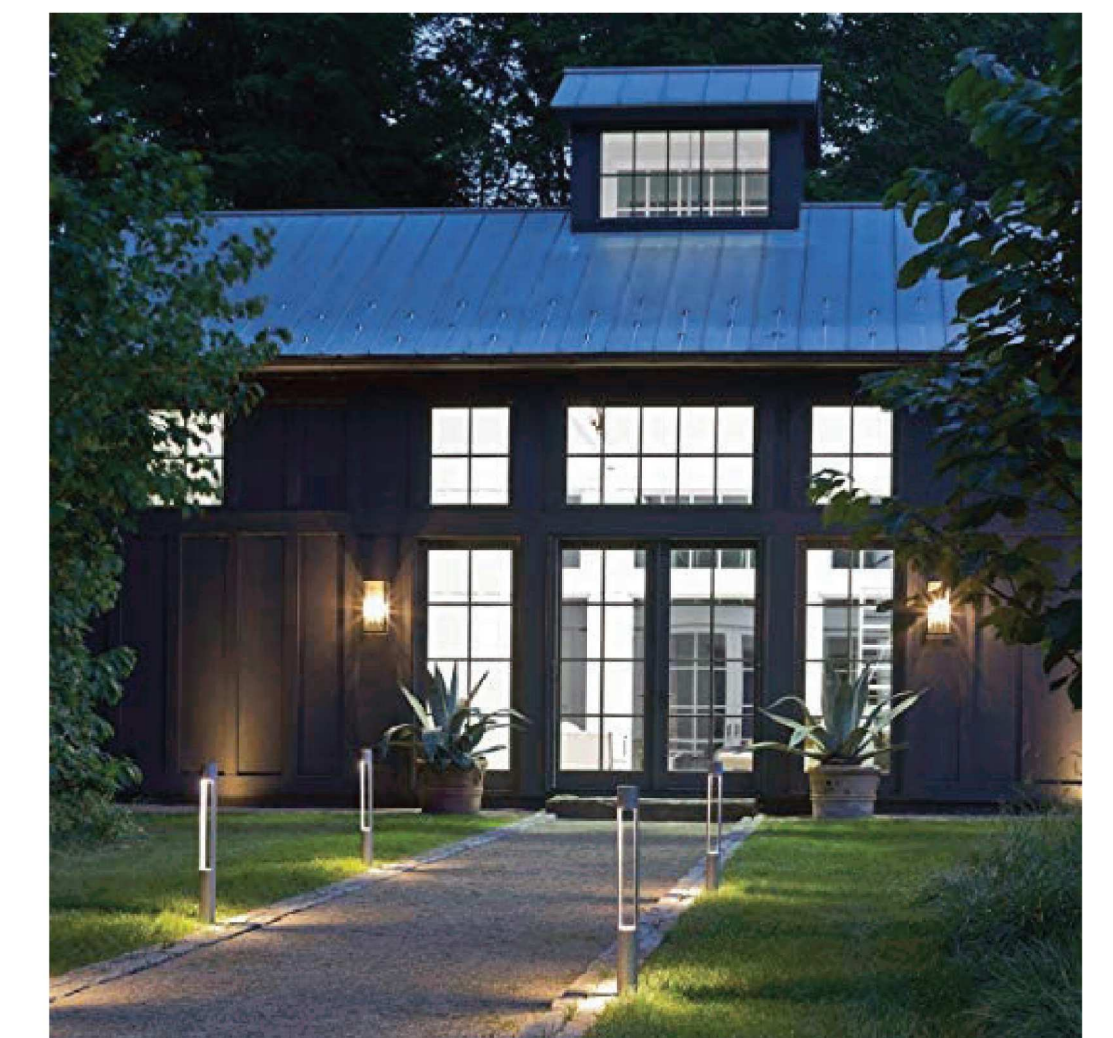
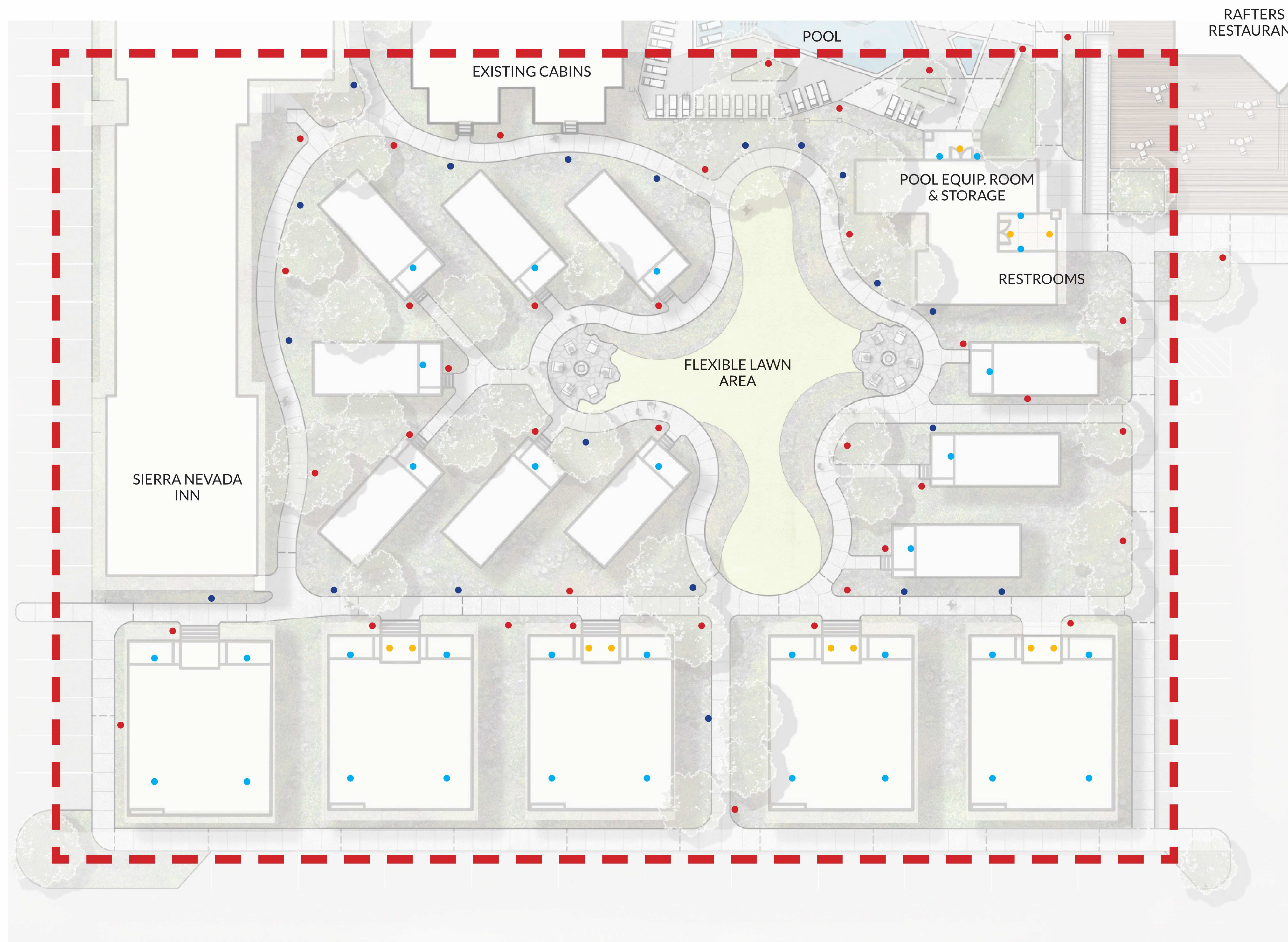
The intention is to provide “cozy” lighting, that will guide guest through the amenity spaces during the evening while not detracting from the firepits and cabins. The vision is to keep the open spaces low lit to help further establish a more secluded intimate space that guest feel safe. These are dark sky friendly and can work well with the wall mounted lights chosen for the adjacent buildings.



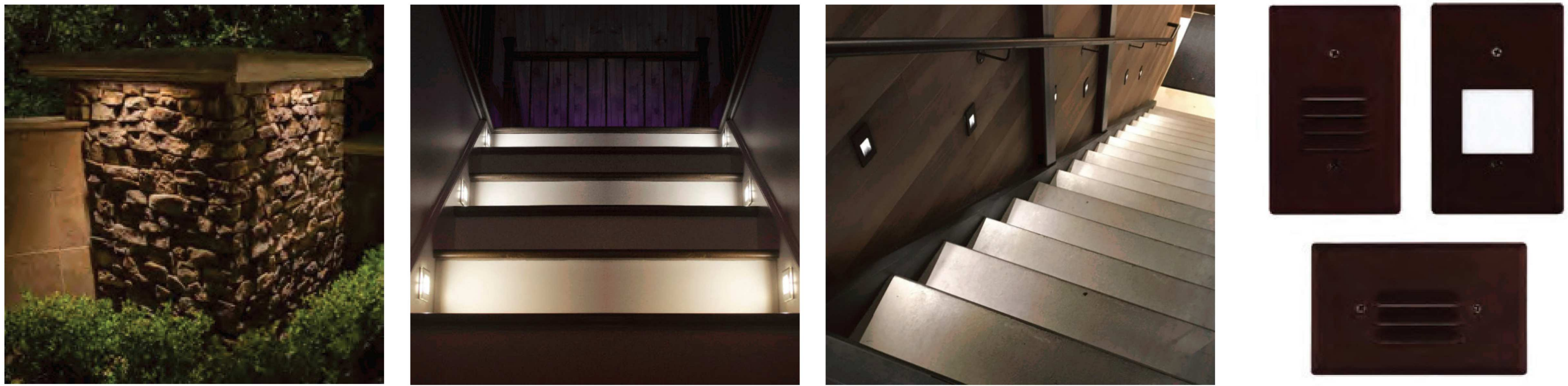
INTERMEDIATE
BOLLARDS



PRIMARY
BOLLARDS

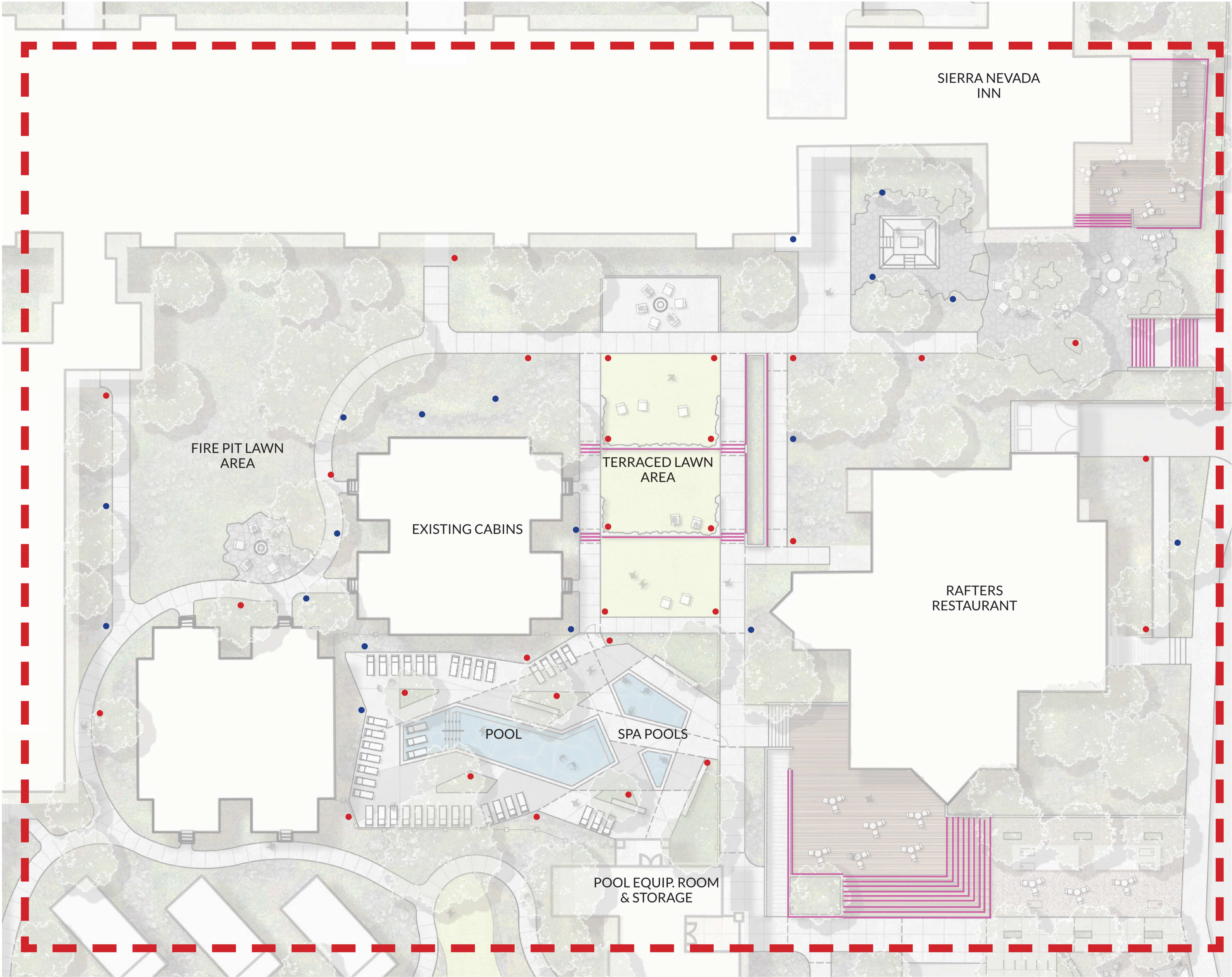


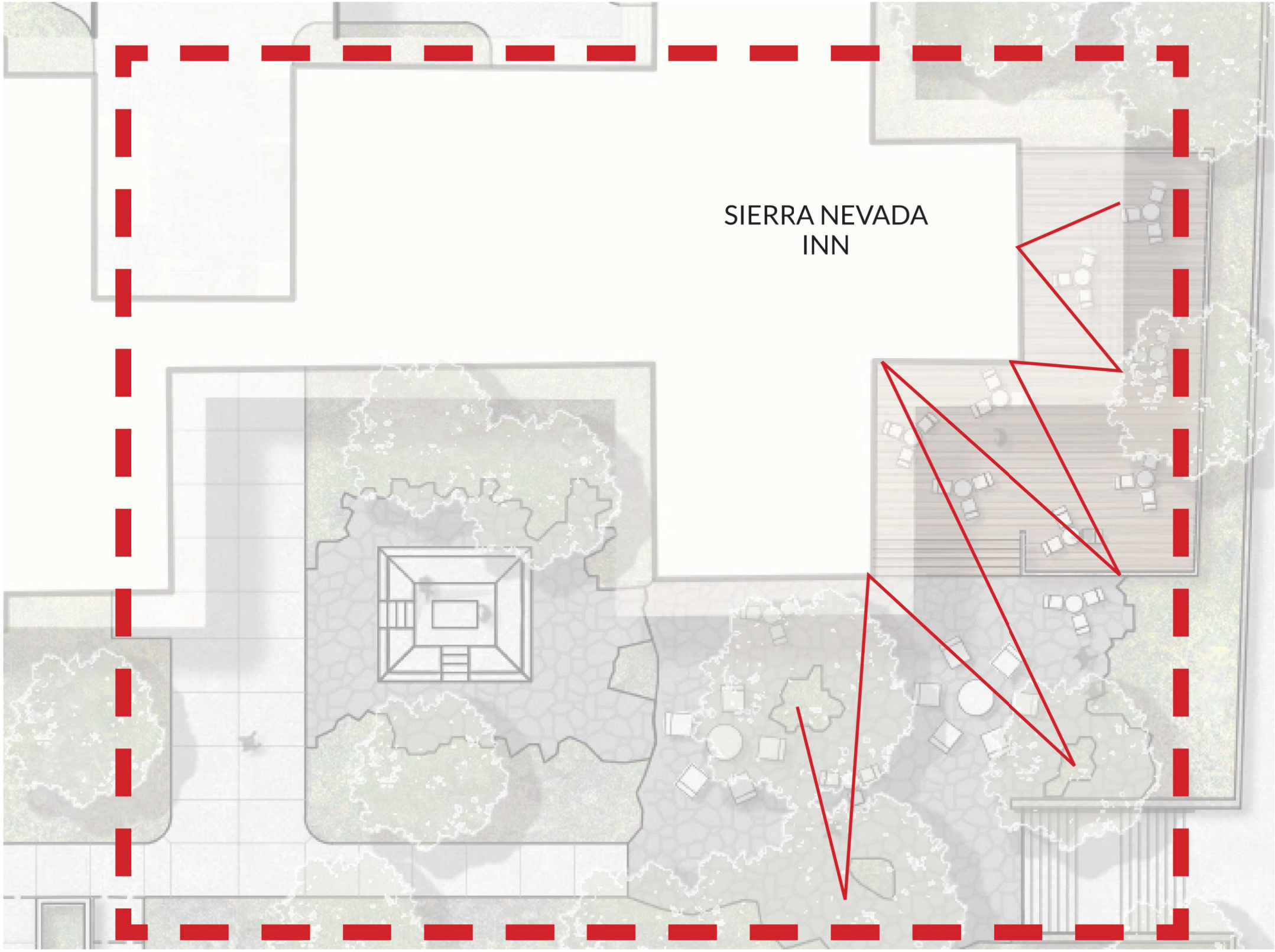
STEP & WALL LIGHTS



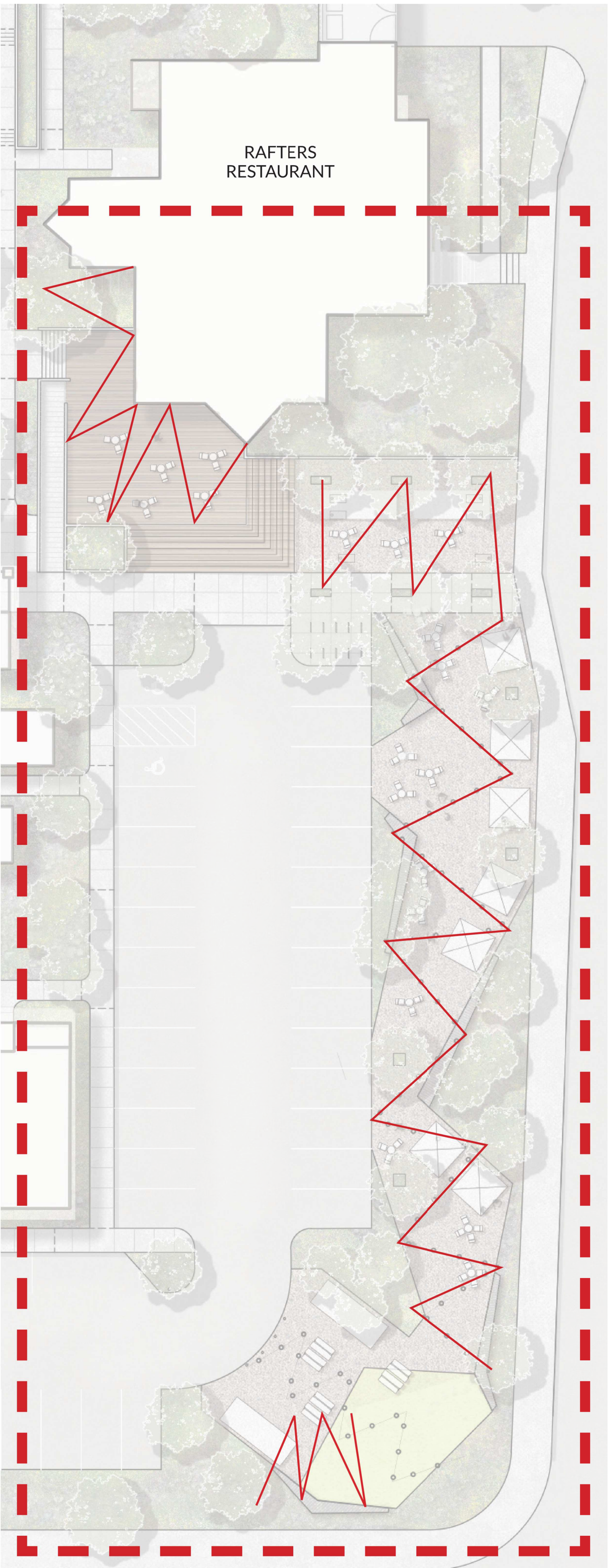
LIGHTING CONCEPT
The intention is to provide “cozy” lighting, that will guide guest through the amenity spaces during the evening while not detracting from the firepits and cabins. The vision is to keep the open spaces low lit to help further establish a more secluded intimate space that guest feel safe. These are dark sky friendly and can work well with the wall mounted lights chosen for the adjacent buildings.

SITE LIGHTING





SIERRA NEVADA
INN



RAFTERS
RESTAURANT

STRING LIGHTS



LIGHTING CONCEPT
String light style can vary from space to space, but the overall concept is to provide overhead intimate lighting that illuminates the space with a warm broadcast of light.



● Parking Lot Lights



LIGHTING CONCEPT
The parking lot lights will be all dark sky lights compliant and will provide direct light to the ground, which reduces overall light pollution and glare to adjacent properties. The lighting also improve visibility and will reduce the wattage and the number of light necessary to illuminate the area. This ultimately will save energy and cost to the development.